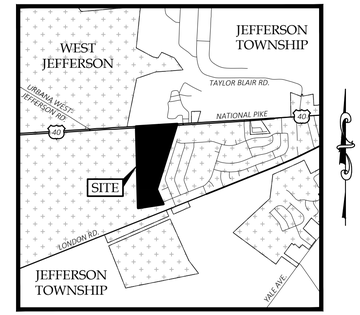
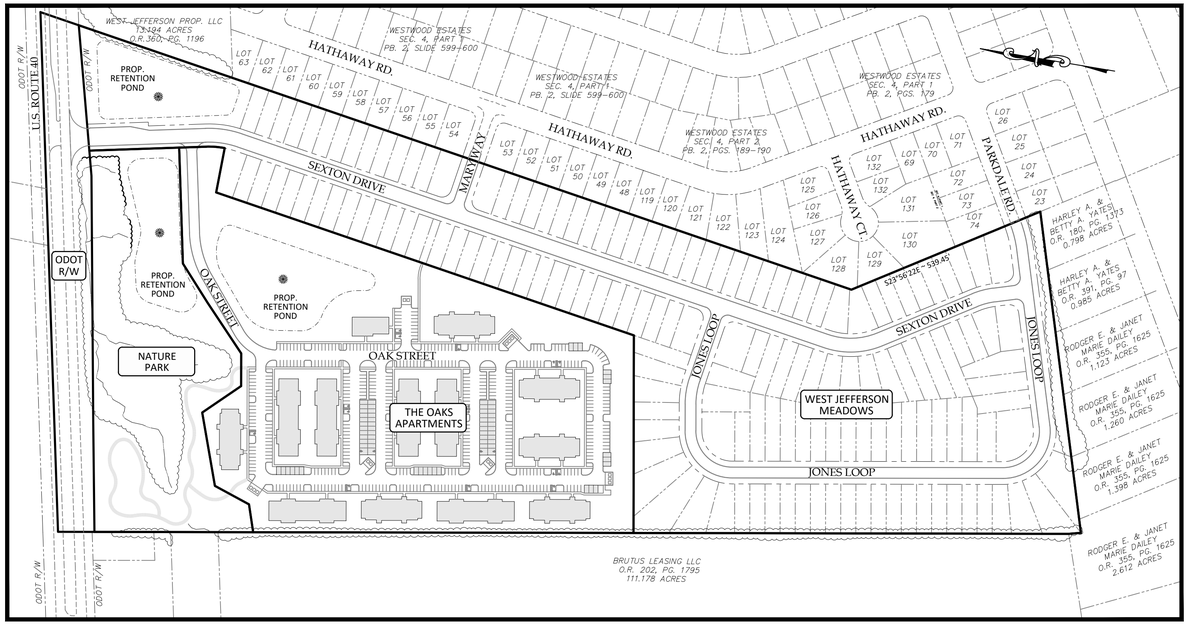
PRELIMINARY DEVELOPMENT PLAN
FOR
WEST JEFFERSON MEADOWS SUBDIVISION & THE OAKS APARTMENTS
U.S. ROUTE 40 (NATIONAL ROAD)
WEST JEFFERSON, OHIO
2024



VICINITY MAP
SCALE: 1" = 1500'

PROJECT DESCRIPTION:
THE EXISTING PROPERTY LOCATED ALONG U.S. ROUTE 40 (PARCEL #10-00330.000) CONTAINS 58.368 ACRES OF LAND CURRENTLY USED FOR FARMING. THE PROJECT PROPOSES DIVIDING THE PROPERTY INTO 4 USES. THE EASTERN PARCEL (WEST JEFFERSON MEADOWS SUBDIVISION) WILL BE UTILIZED FOR THE CONSTRUCTION SINGLE FAMILY HOMES (154 LOTS), WHILE THE WESTERN PARCEL (THE OAKS) WILL BE USED FOR 1 AND 2 BEDROOM APARTMENTS (288 UNITS). THE PROJECT INCLUDES THE CONSTRUCTION OF 12 MULTIFAMILY BUILDINGS, GARAGES, A CLUBHOUSE, ROADWAYS, PARKING LOTS, SIDEWALKS, UTILITIES AND 3 DETENTION PONDS DESIGNED TO PROVIDE STORMWATER QUALITY AND STORAGE FOR THIS PROJECT. THE THIRD USE WILL BE A NATURE PARK ON THE NORTH PORTION OF THE SITE. THE FOURTH USE IS ODOT RIGHT-OF-WAY.



INDEX MAP
SCALE: 1" = 200'
200 100 0 200 400

SITE DATA TABLE	
TOTAL SITE AREA (AC)	58.37
THE OAKS APARTMENTS (AC)	18.43
WEST JEFFERSON MEADOWS SINGLE FAMILY (AC)	29.45
NATURE PARK (AC)	7.12
ODOT RIGHT-OF-WAY (AC)	3.37

SITE DENSITY			
LOCATION	AREA (AC)	# OF UNITS	UNITS PER ACRE
TOTAL SITE	58.37	442	7.57
THE OAKS APARTMENTS	22.47	288	12.82
WEST JEFFERSON MEADOWS	35.90	154	4.29

NOTE: ODOT RIGHT-OF-WAY AND NATURE PARK AREAS ARE APPLIED TO THE OAKS APARTMENTS AND WEST JEFFERSON MEADOWS TOTAL AREAS AS A WEIGHTED PERCENTAGE OF EACH DEVELOPMENT.

FEMA FLOOD MAP INFORMATION

FLOOD INSURANCE RATE MAP NUMBER: . . . . . 39097C0158D & 39097C0175D

ZONE:. X

EFFECTIVE DATE:. 6/18/2010

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SURVEYOR
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POWER GEOSPATIAL, LTD.
PHONE: (614) 546-8337
EMAIL: POWERGEOSPATIAL@GMAIL.COM

PROFESSIONAL ENGINEER

STATE OF OHIO — CHRISTOPHER MICHAEL TEBBE — E-68106 — REGISTERED PROFESSIONAL ENGINEER

CHRISTOPHER M. TEBBE, P.E. — NO. 68106 — 9/24/2024 DATE

REVISION RECORD	
NO.	DATE	REVISION DESCRIPTION

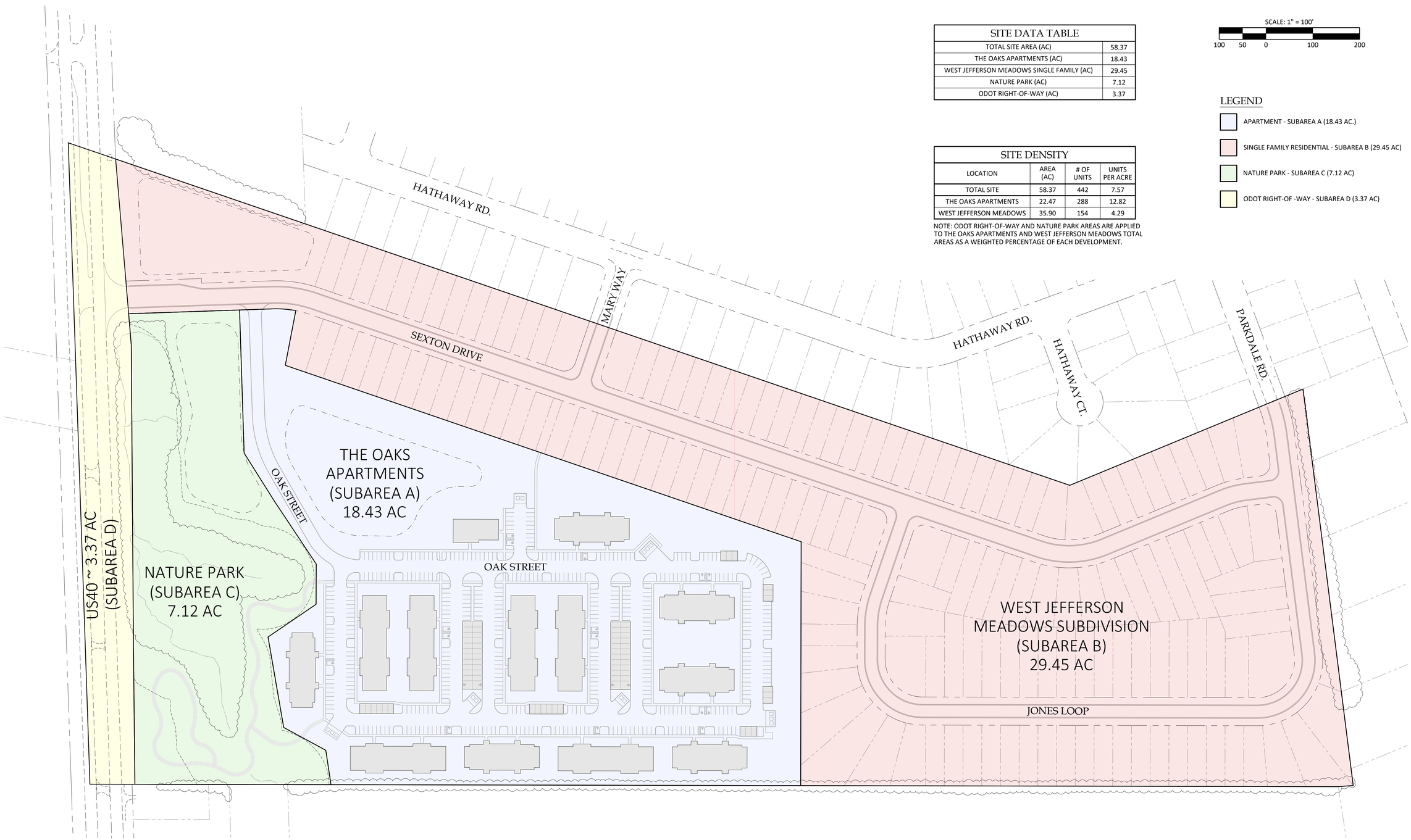
TEBBE CIVIL ENGINEERING, LLC
4700 Lakehurst Court, Suite 135
Dublin, Ohio 43016
Phone (614) 845-5885 ● Chris@TebbeCivil.Com

TITLE SHEET
WEST JEFFERSON MEADOWS SUBDIVISION & THE OAKS APARTMENTS
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

09/25/24

JOB NO.	1124
DRAWN BY	MJM
DESIGN BY	JSG
CHECKED BY	CMT

SHEET 1 OF 26



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SCALE: 1" = 100'

100 50 0 100 200

LEGEND

- APARTMENT - SUBAREA A (18.43 AC.)
- SINGLE FAMILY RESIDENTIAL - SUBAREA B (29.45 AC)
- NATURE PARK - SUBAREA C (7.12 AC)
- ODOT RIGHT-OF -WAY - SUBAREA D (3.37 AC)

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OVERALL DEVELOPMENT SITE PLAN
WEST JEFFERSON MEADOWS SUBDIVISION & THE OAKS APARTMENTS
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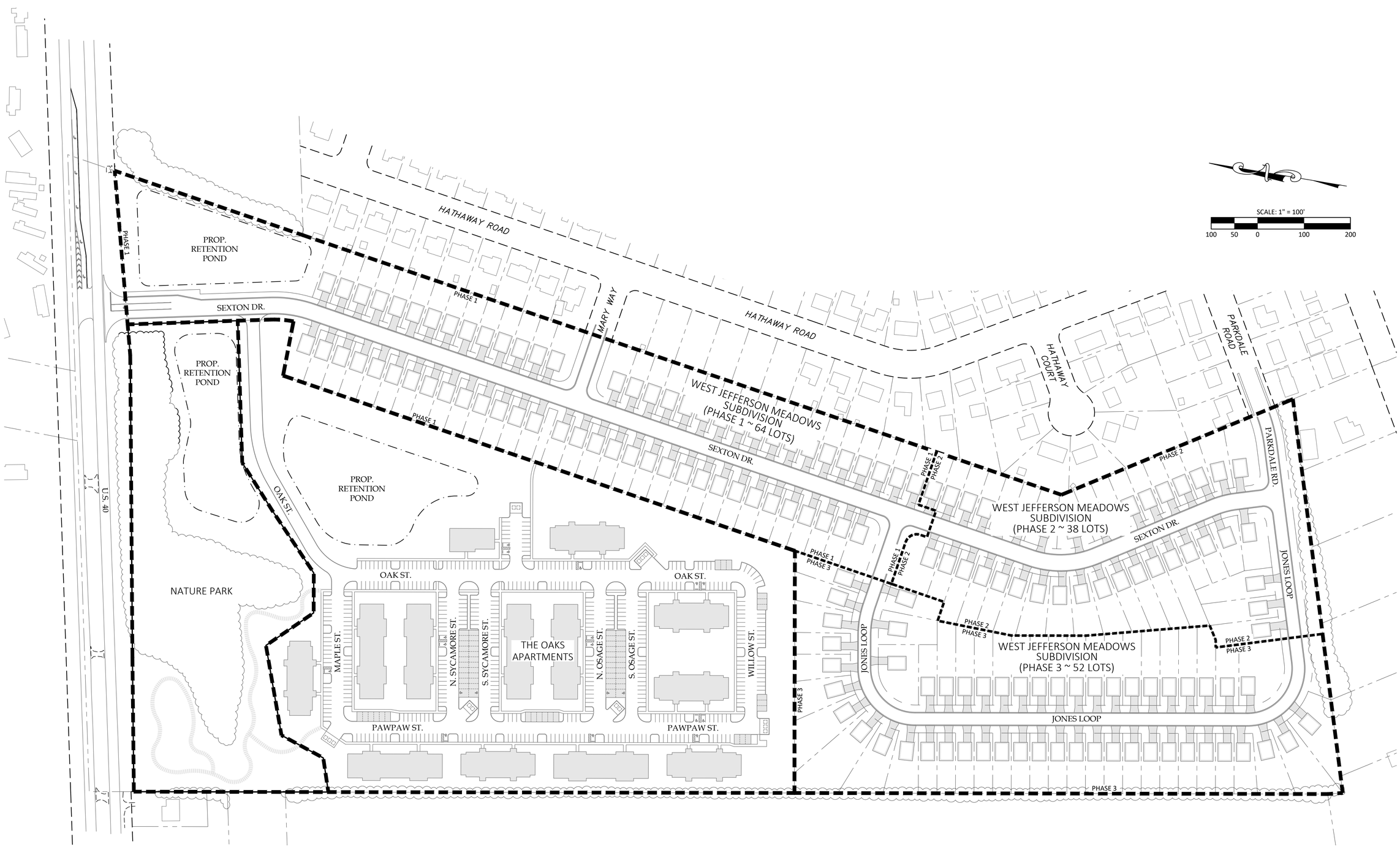

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PROJECT PHASING PLAN

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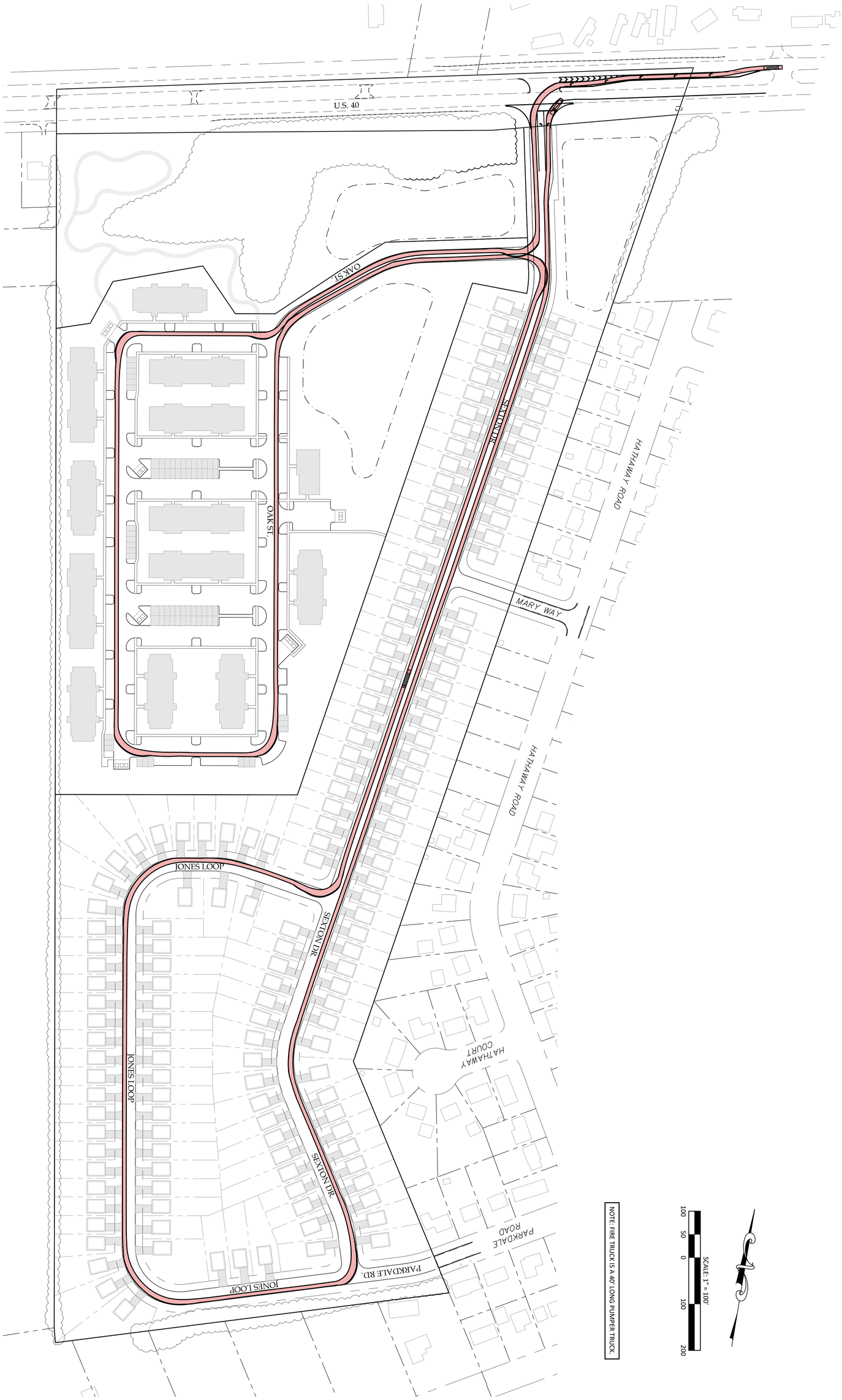
P:\11005\1124 - WEST JEFFERSON DEVELOPMENT - TONTI\DWG\PRELIMINARY DEVELOPMENT PLAN\1124_04_FIRETURNING.DWG,5/24/2024 10:57:50 AM, mmcneal



FIRE TRUCK TURNING MOVEMENT PLAN

WEST JEFFERSON MEADOWS SUBDIVISION & THE OAKS APARTMENTS

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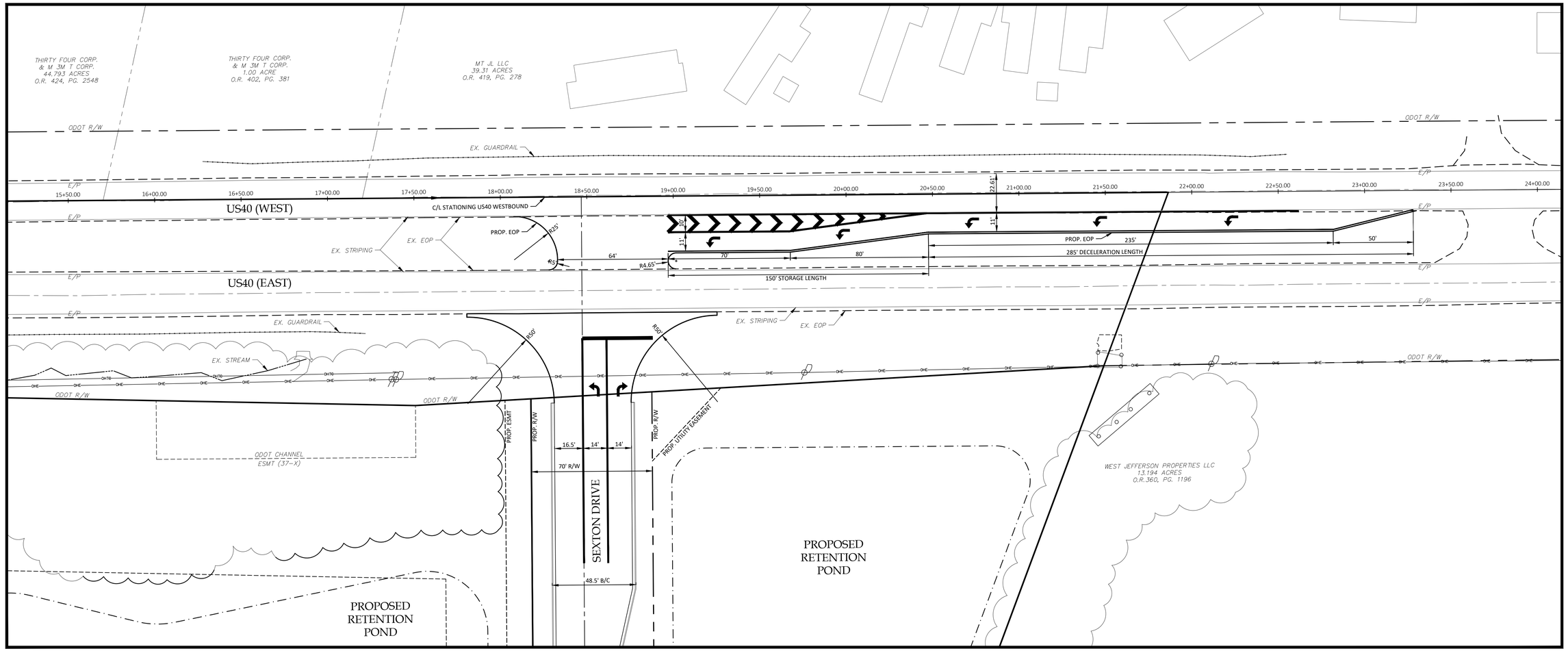

TURN LANE & ROADWAY STRIPING EXHIBIT

SCALE: 1" = 30'

OFFSET LEFT TURN LANE DATA	
DESIGN SPEED	55 MPH
DECELERATION LENGTH (L)	285'
STORAGE LENGTH	150'
TOTAL LENGTH	435'
STORAGE TAPER RATE	8:1

*DESIGN BASED ON ODOT TABLE 401-8.
LEFT TURN LANE GEOMETRY BASED ON "TONTI-WEST JEFFERSON SITE TRAFFIC IMPACT STUDAY" DATED REV.1 8/2024 PREPARED BY SMART SERVICES, INC.

SCALE: 1" = 30'

30 15 0 30 60

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US-40 INTERSECTION IMPROVEMENT LAYOUT
WEST JEFFERSON MEADOWS SUBDIVISION & THE OAKS APARTMENTS
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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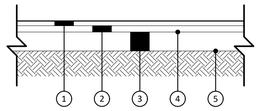


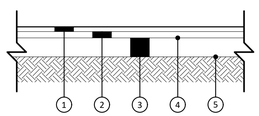
DRIVE AISLE PAVEMENT BUILDUP

SCALE: 1" = 2'

1. ITEM 441, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448), PG64-22
2. ITEM 441, 2-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (448)
3. ITEM 304, 8" COMPACTED THICKNESS AGGREGATE BASE
4. ITEM 407, TACK COAT
5. ITEM 204, SUBGRADE COMPACTION

PAVEMENT SECTION

PAVEMENT COMPOSITION IS TYPICAL OF SIMILAR PROJECTS. A PAVEMENT SPECIFIC LABORATORY ASSESSMENT WAS NOT PERFORMED FOR THIS SITE. CONTRACTOR SHALL VERIFY FINAL DESIGN WITH OWNER OR GEOTECHNICAL ENGINEER DURING FINAL ENGINEERING.



PARKING PAVEMENT BUILDUP

SCALE: 1" = 2'

1. ITEM 441, 1-1/2" ASPHALT CONCRETE SURFACE COURSE, TYPE 1, (448), PG64-22
2. ITEM 441, 1-1/2" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2, (448)
3. ITEM 304, 6" COMPACTED THICKNESS AGGREGATE BASE
4. ITEM 407, TACK COAT
5. ITEM 204, SUBGRADE COMPACTION

PAVEMENT SECTION

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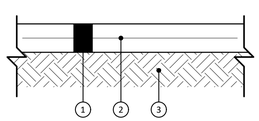


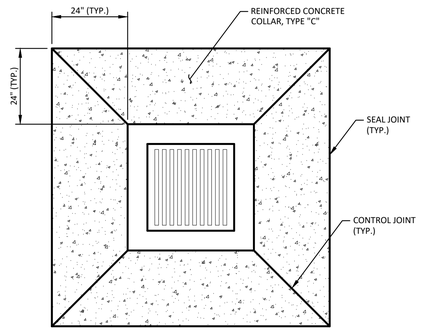
DUMPSTER PAD BUILDUP

SCALE: 1" = 2'

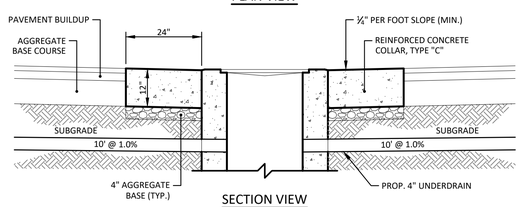
1. ITEM 452, 9" REINFORCED CONCRETE PAVEMENT
2. 6"x6" NUMBER 8 MESH
3. ITEM 204, SUBGRADE COMPACTION

PAVEMENT SECTION

PAVEMENT COMPOSITION IS PER CITY OF COLUMBUS REFUSE PAD REQUIREMENTS.



PLAN VIEW

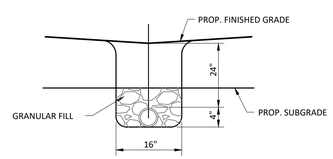


SECTION VIEW

THE CONTRACTOR SHALL INITIALLY SET THE TOP OF CASTING FOR CATCH BASIN STRUCTURES WITHIN ASPHALT PAVEMENT AND GRAVEL AREAS TO THE ELEVATION SHOWN ON PLANS. PRIOR TO THE CONSTRUCTION OF ASPHALT PAVEMENT AND INSTALLATION OF GRAVEL BUILDUP, CONTRACTOR TO INSTALL CONCRETE COLLAR PER DETAIL. COST OF THE ABOVE SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED PAVING AREAS.

TYPICAL CONCRETE COLLAR DETAIL FOR STRUCTURES WITHIN ASPHALT PAVEMENT

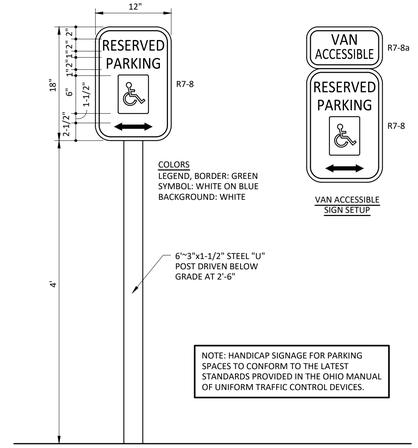
SCALE: 1" = 2'



FINGER DRAIN DETAIL

-NOT TO SCALE-

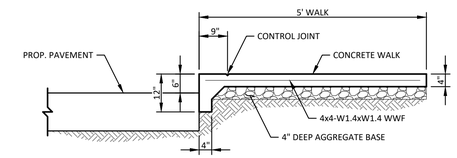
FINGER DRAINS SHALL CONSIST OF 10 L.F. OF 4" PERFORATED UNDERDRAIN PIPE OR APPROVED EQUAL LAID OUT OF ALL STRUCTURES UNDER PAVEMENT (WITH INVERTS 30" BELOW TOP OF CASTING) IN FOUR DIRECTIONS (UNLESS OTHERWISE NOTED) @ 1.00%, UPSTREAM ENDS PLUGGED, NO. 57 AGGREGATE SHALL EXTEND FROM A POINT 4" BELOW THE UNDERDRAIN PIPE TO THE BOTTOM OF THE PAVEMENT BASE FOR THE LENGTH OF THE UNDERDRAIN. THE PERFORATED PIPE SHALL BE PROTECTED FROM HEAVY DUTY TRAFFIC AFTER INSTALLATION. COSTS TO BE INCLUDED IN PRICE BID FOR ITEM 604.



NOTE: HANDICAP SIGNAGE FOR PARKING SPACES TO CONFORM TO THE LATEST STANDARDS PROVIDED IN THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

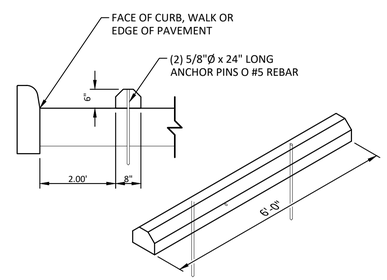
HANDICAPPED PARKING SIGN DETAIL

-NO SCALE-



CURB & WALK DETAIL

- NOT TO SCALE -

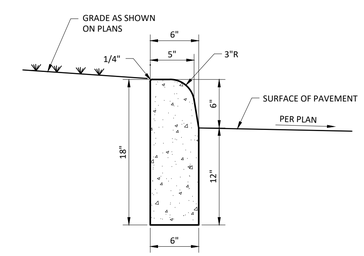


NOTES:

1. CENTER PARKING BLOCK IN PARKING SPACE.
2. REFER TO SITE PLAN FOR PARKING BLOCK LOCATIONS.
3. COLUMBUS CONCRETE PRODUCTS COMPANIES "'COMMERCIAL PARKING BLOCK" OR APPROVED EQUAL.

STANDARD PARKING BLOCK

SCALE: 1" = 2'



STRAIGHT 18" CONCRETE CURB

-NOT TO SCALE-

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APARTMENT SITE DETAILS
THE OAKS APARTMENTS
PRELIMINARY DEVELOPMENT PLAN
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
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SHEET

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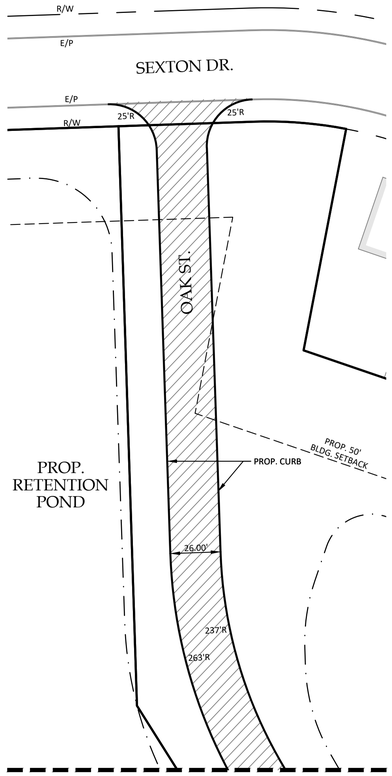
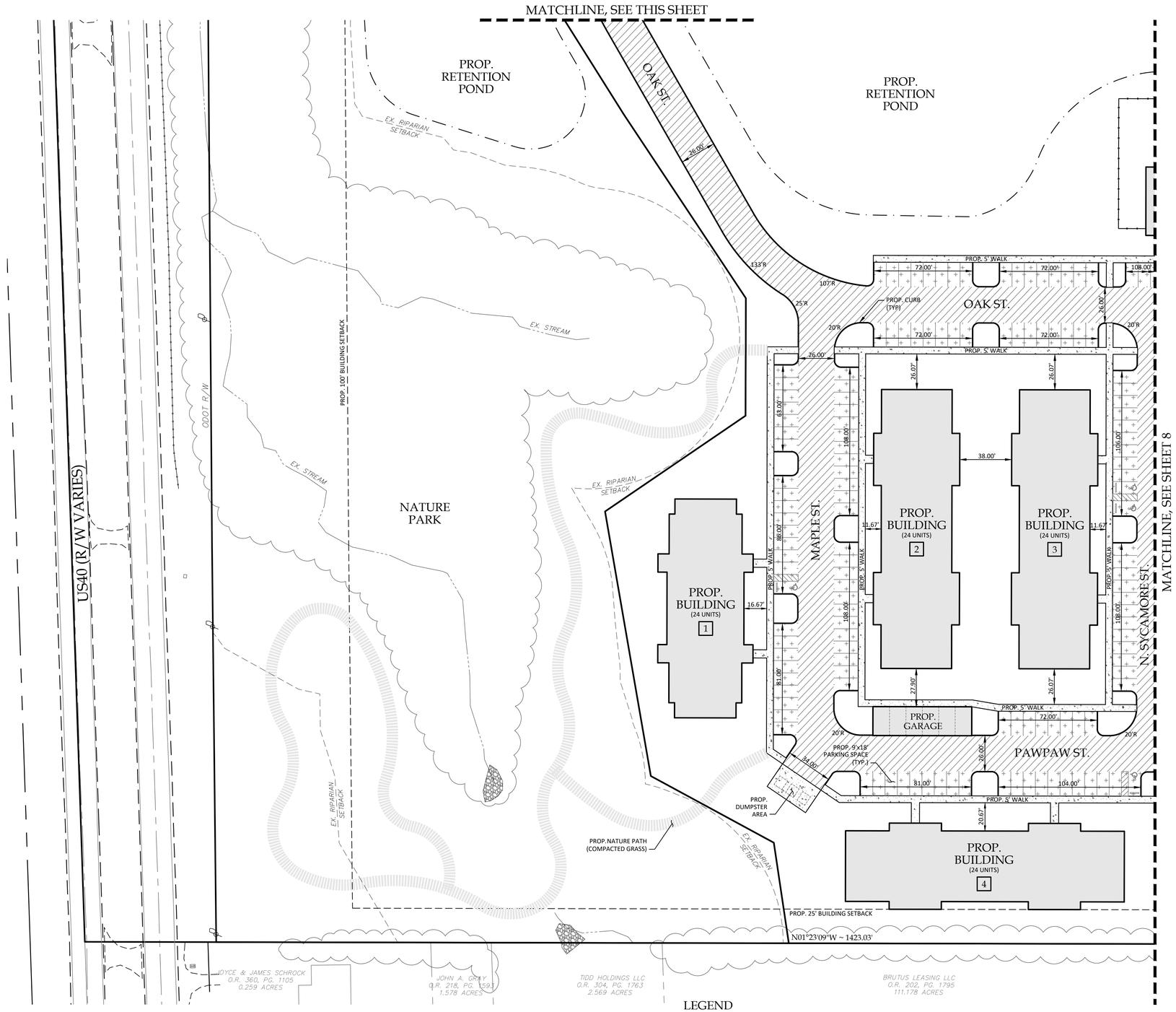
OF 26





APARTMENT BREAKDOWN TABLE

NUMBER OF BUILDINGS	12
NUMBER OF UNITS	288 1 BEDROOM: 72 2 BEDROOM: 216
NUMBER OF GARAGE BUILDINGS	8
NUMBER OF CLUBHOUSES	1

APARTMENT PARKING INFORMATION

PARKING AND GARAGE REQUIREMENTS:

GARAGE OR 9'x18' PARKING SPACES:	288 UNITS 288 UNITS x 1.5 PER UNIT =	432
	TOTAL VEHICLE SPACES REQUIRED	432

PARKING AND GARAGE PROVIDED:

STANDARD GARAGE SPACES PROVIDED	68
ADA ACCESSBILE GARAGE SPACES	4
TOTAL GARAGE SPACES	72
STANDARD 9'x18' PARKING SPACES PROVIDED	438
ADA PARKING SPACES	13
TOTAL PARKING SPACES	451
TOTAL VEHICLE SPACES PROVIDED	523

REFUSE COLLECTION NOTE

PRIVATE SERVICE

TOTAL NUMBER OF UNITS:	288
REQUIRED LOOSE CAPACITY (288 UNITS x ½ CUBIC YARD)	144 CY
NUMBER OF CONTAINERS (10 CY)	15
PROVIDED CAPACITY (15 CONTAINERS x 10 CY CONTAINER SIZE)	150 CY

LEGEND

= CONCRETE

= PARKING PAVEMENT (LIGHT DUTY PAVEMENT)

= DRIVE AISLE PAVEMENT (HEAVY DUTY PAVEMENT)

SCALE: 1" = 40'

40 20 0 40 80

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APARTMENT ~ SITE DIMENSION PLAN
THE OAKS APARTMENT PLAN
PRELIMINARY DEVELOPMENT
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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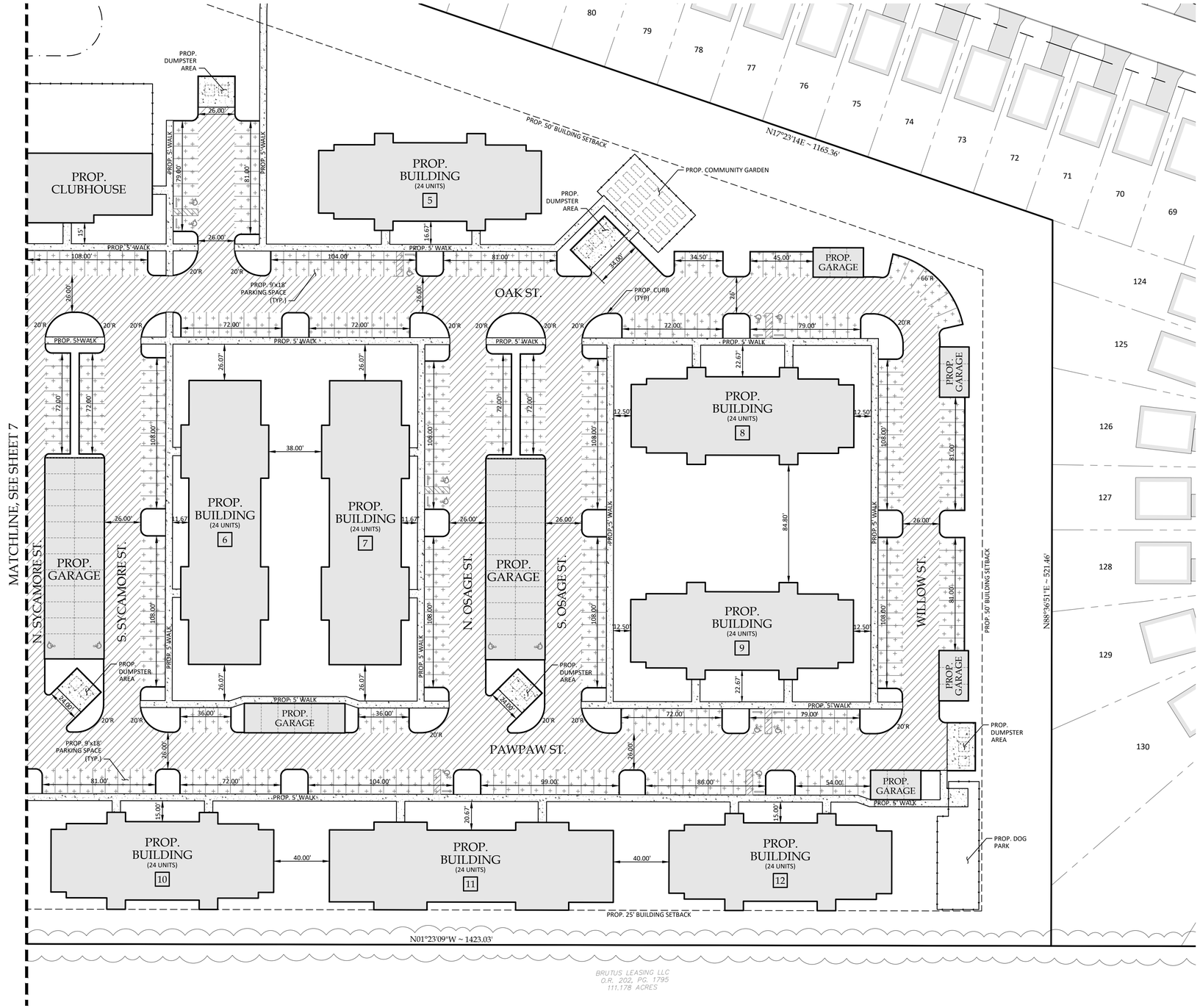

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APARTMENT ~ SITE DIMENSION PLAN

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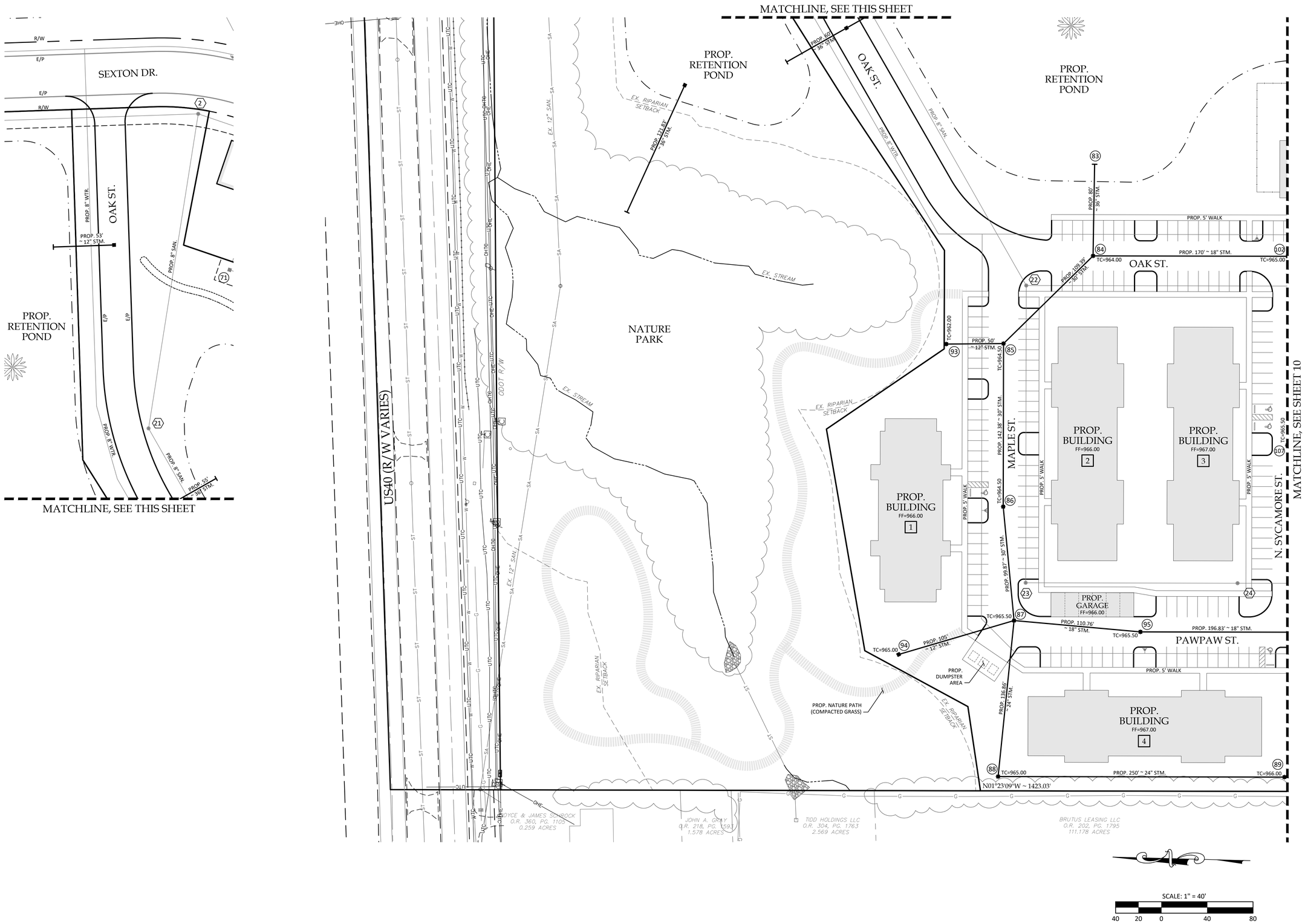

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APARTMENT GRADING AND DRAINAGE PLAN
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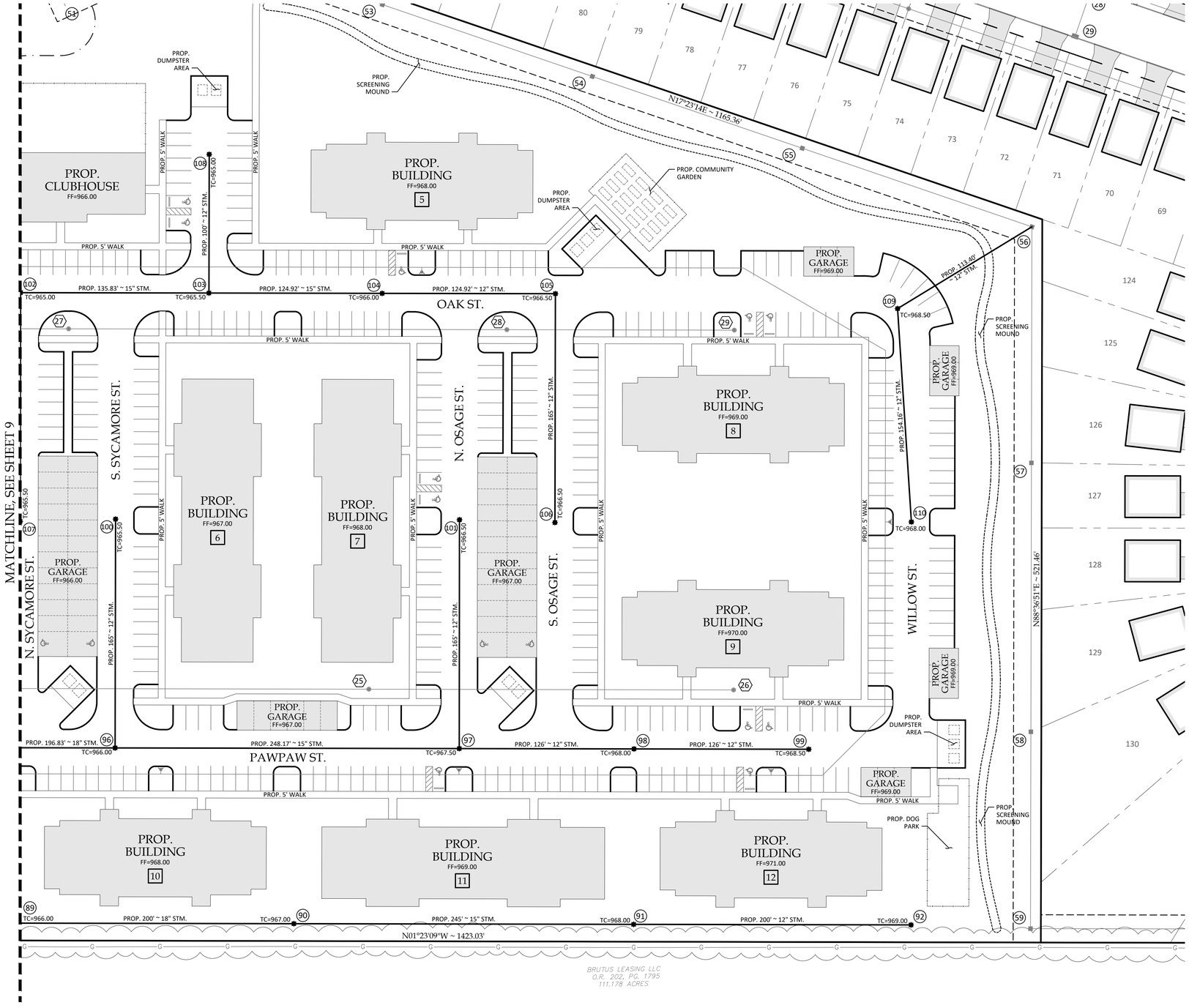

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APARTMENT ~ GRADING AND DRAINAGE PLAN

THE OAKS APARTMENTS

PRELIMINARY DEVELOPMENT PLAN

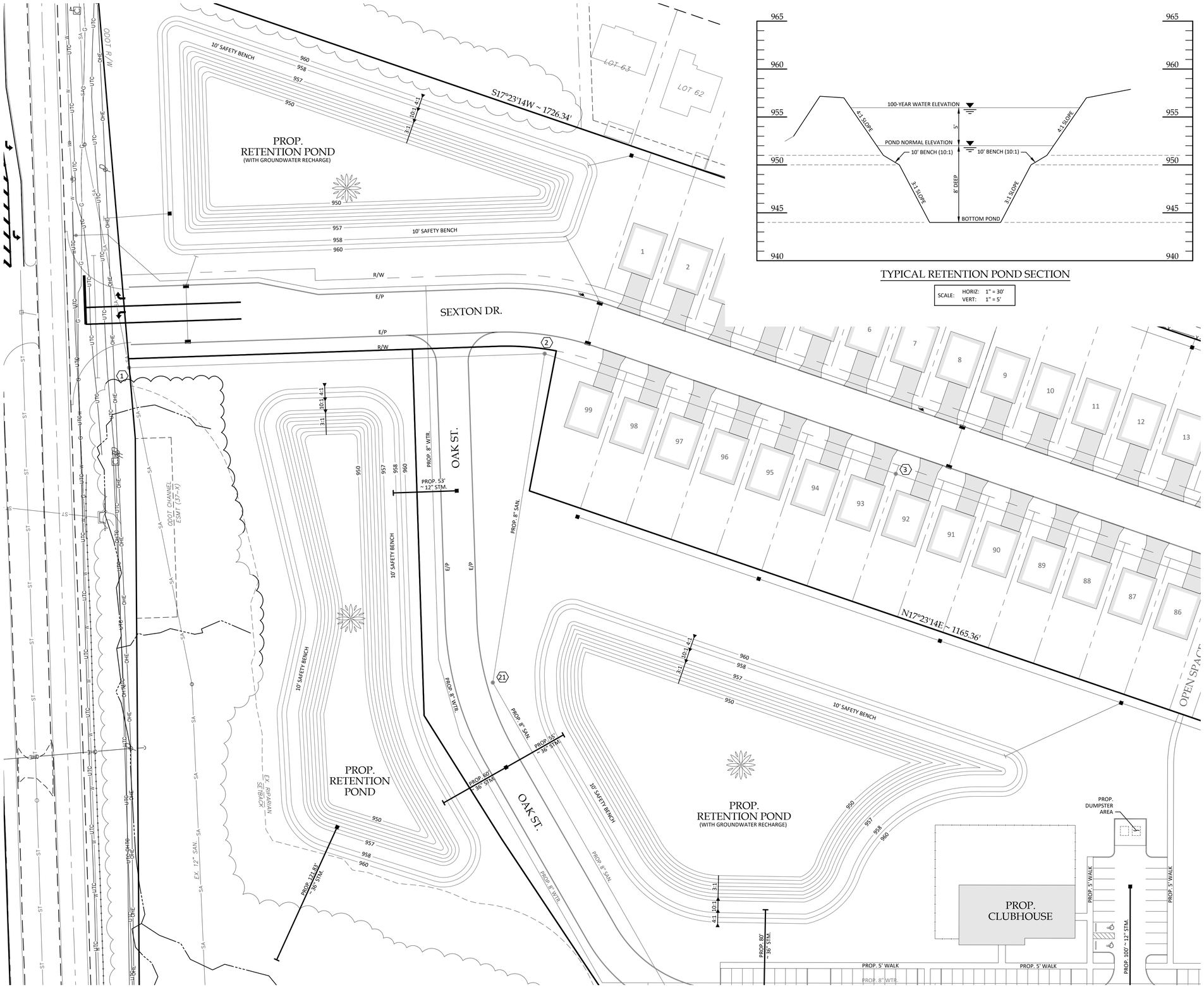
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
DRAWN BY	MJM
DESIGN BY	JSG
CHECKED BY	CMT

SHEET

10

OF 26



TYPICAL RETENTION POND SECTION

SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'

SCALE: 1" = 40'
40 20 0 40 80

NO.	DATE	REVISION RECORD REVISION DESCRIPTION

TEBBE CIVIL ENGINEERING, LLC
4700 Lakehurst Court, Suite 135
Dublin, Ohio 43016
Phone (614) 845-5885 ● Chris@TebbeCivil.Com

APARTMENT ~ DETENTION POND DETAILS
THE OAKS APARTMENTS
PRELIMINARY DEVELOPMENT PLAN
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
DRAWN BY	MJM
DESIGN BY	JSG
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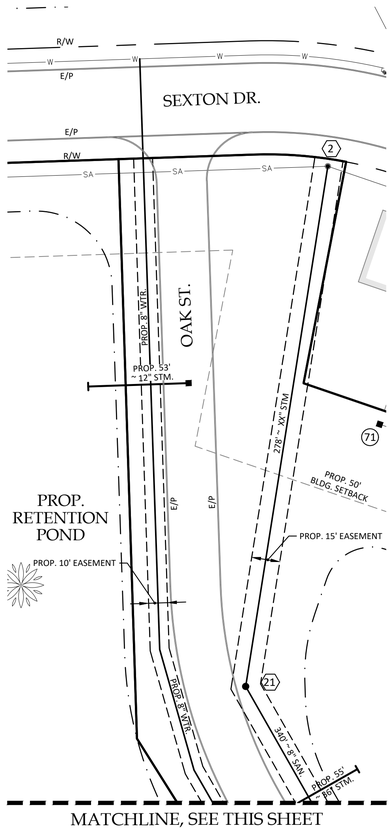
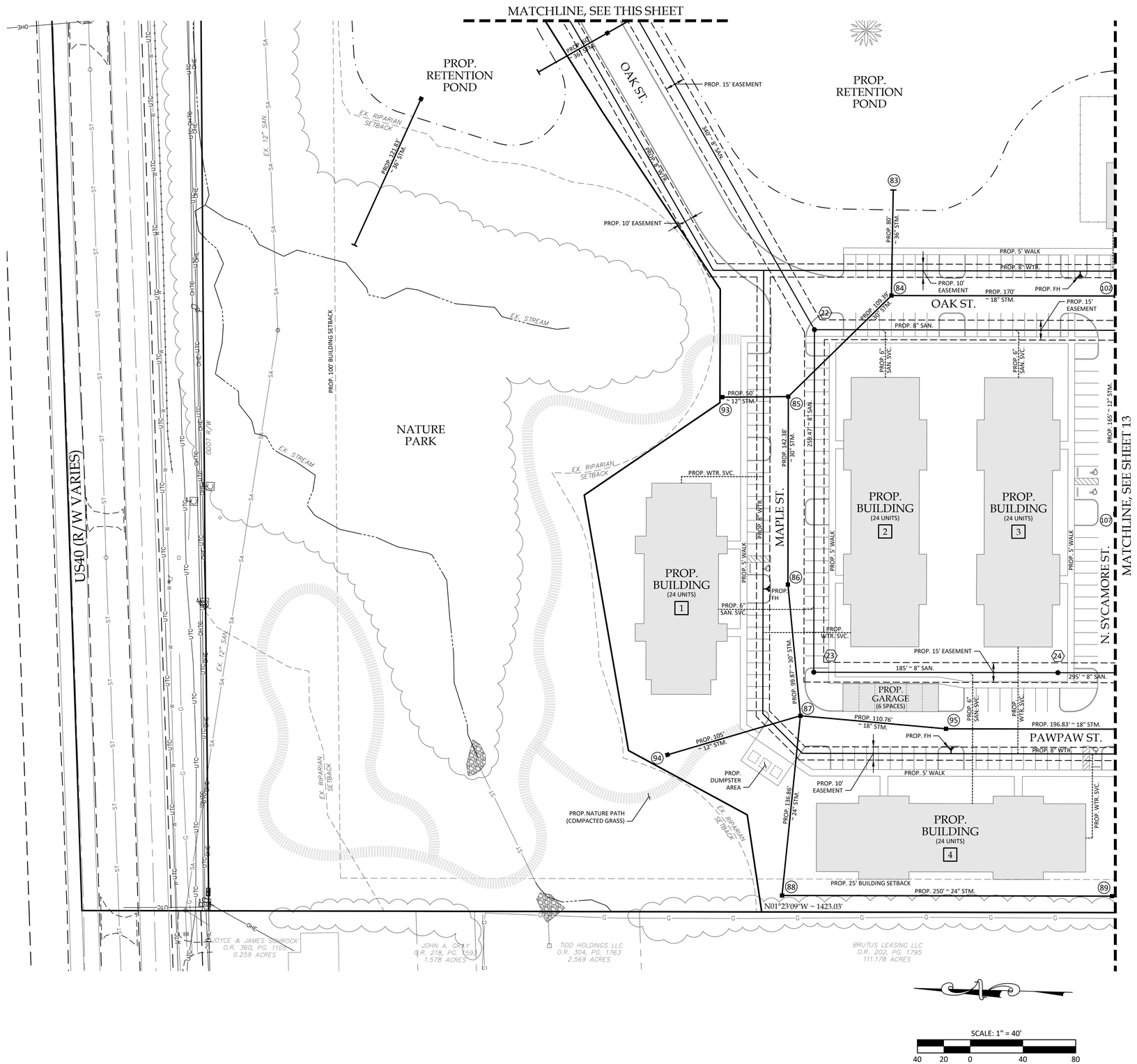
SHEET 11 OF 26





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APARTMENT ~ UTILITY PLAN
THE OAKS APARTMENTS
PRELIMINARY DEVELOPMENT PLAN
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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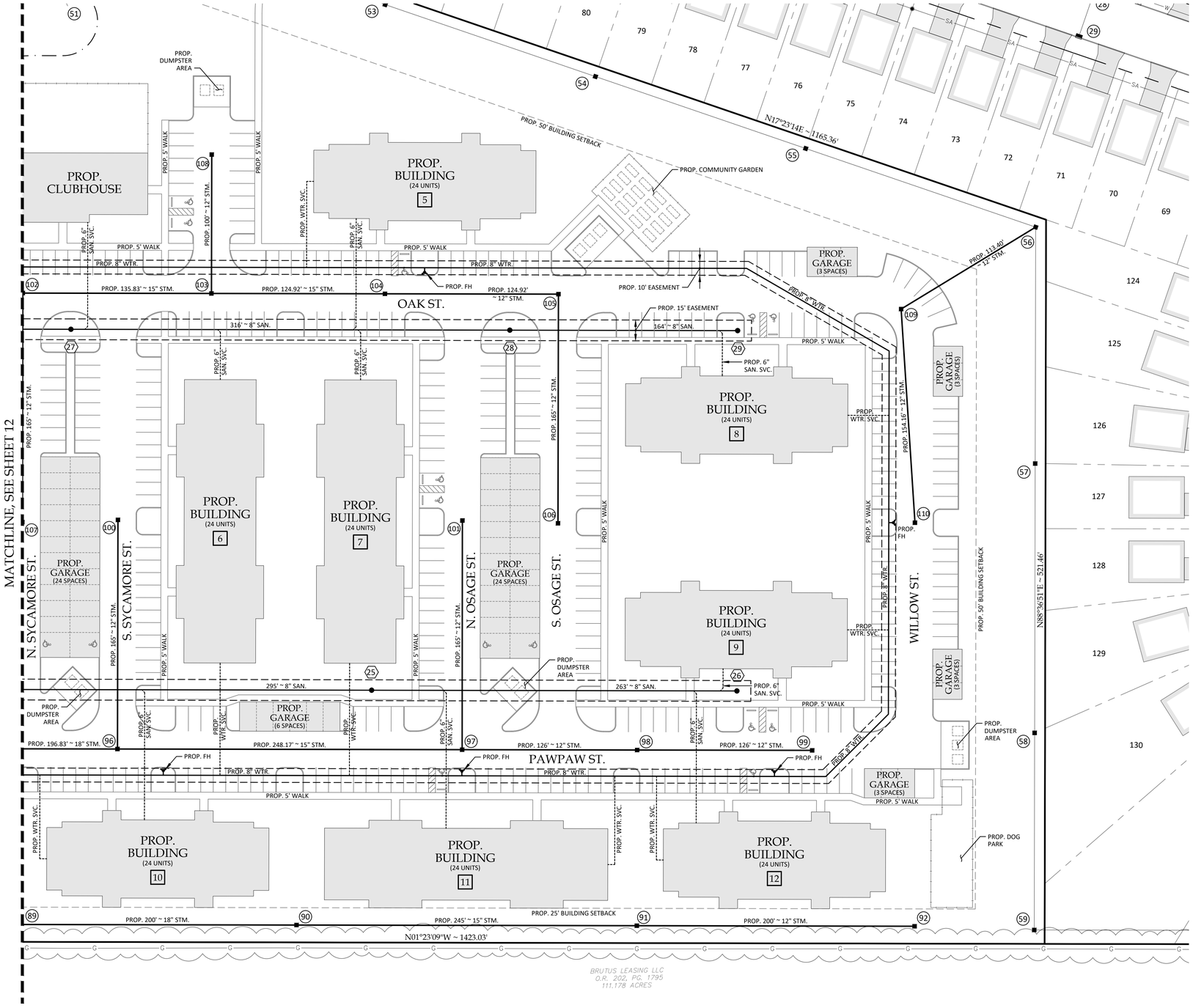
SHEET 12 OF 36



SCALE: 1" = 40'

40 20 0 40 80

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APARTMENT ~ UTILITY PLAN

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PRELIMINARY DEVELOPMENT PLAN

U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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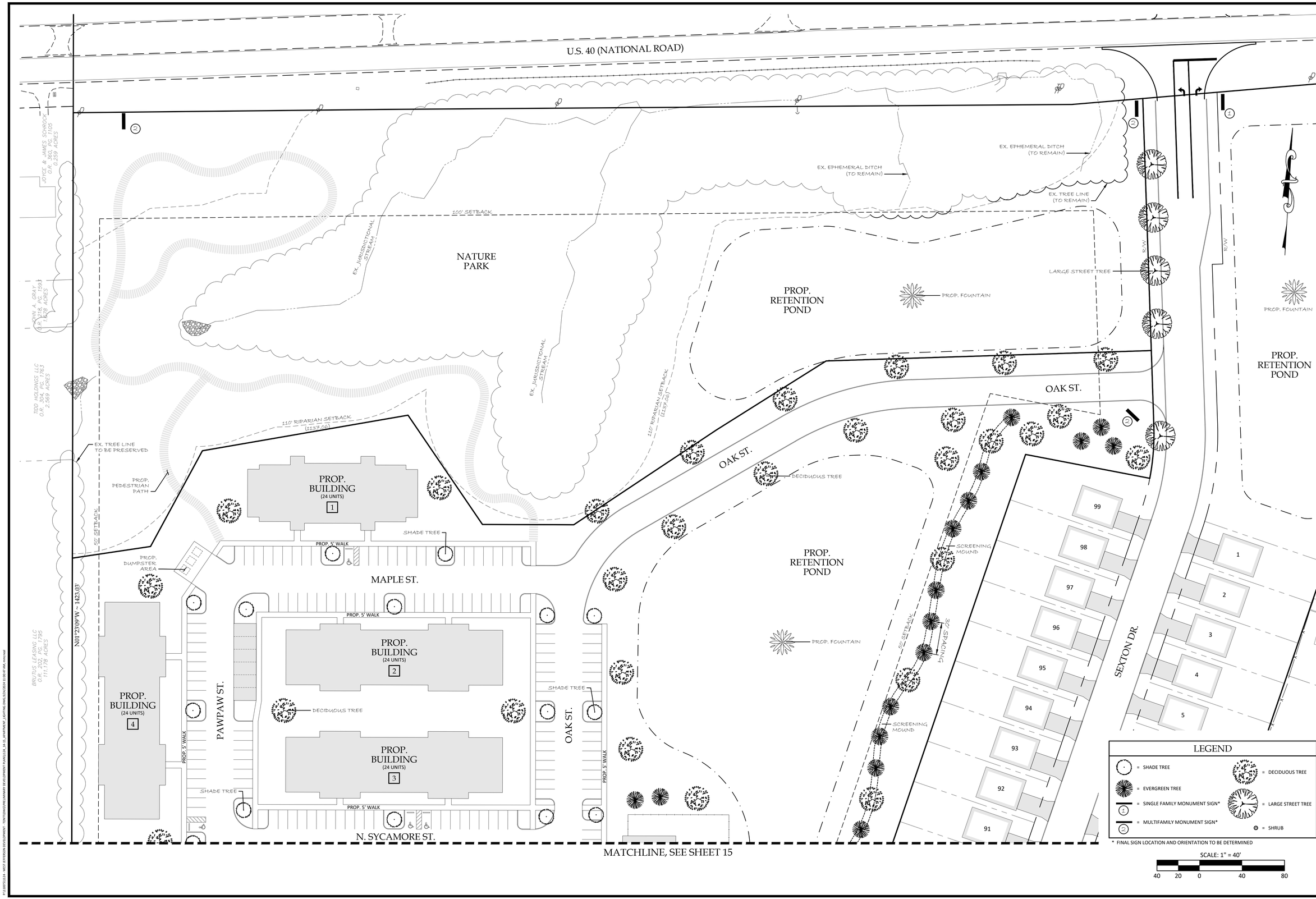
SHEET

13

OF 26



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APARTMENT ~ LANDSCAPING PLAN
THE OAKS APARTMENTS
PRELIMINARY DEVELOPMENT PLAN
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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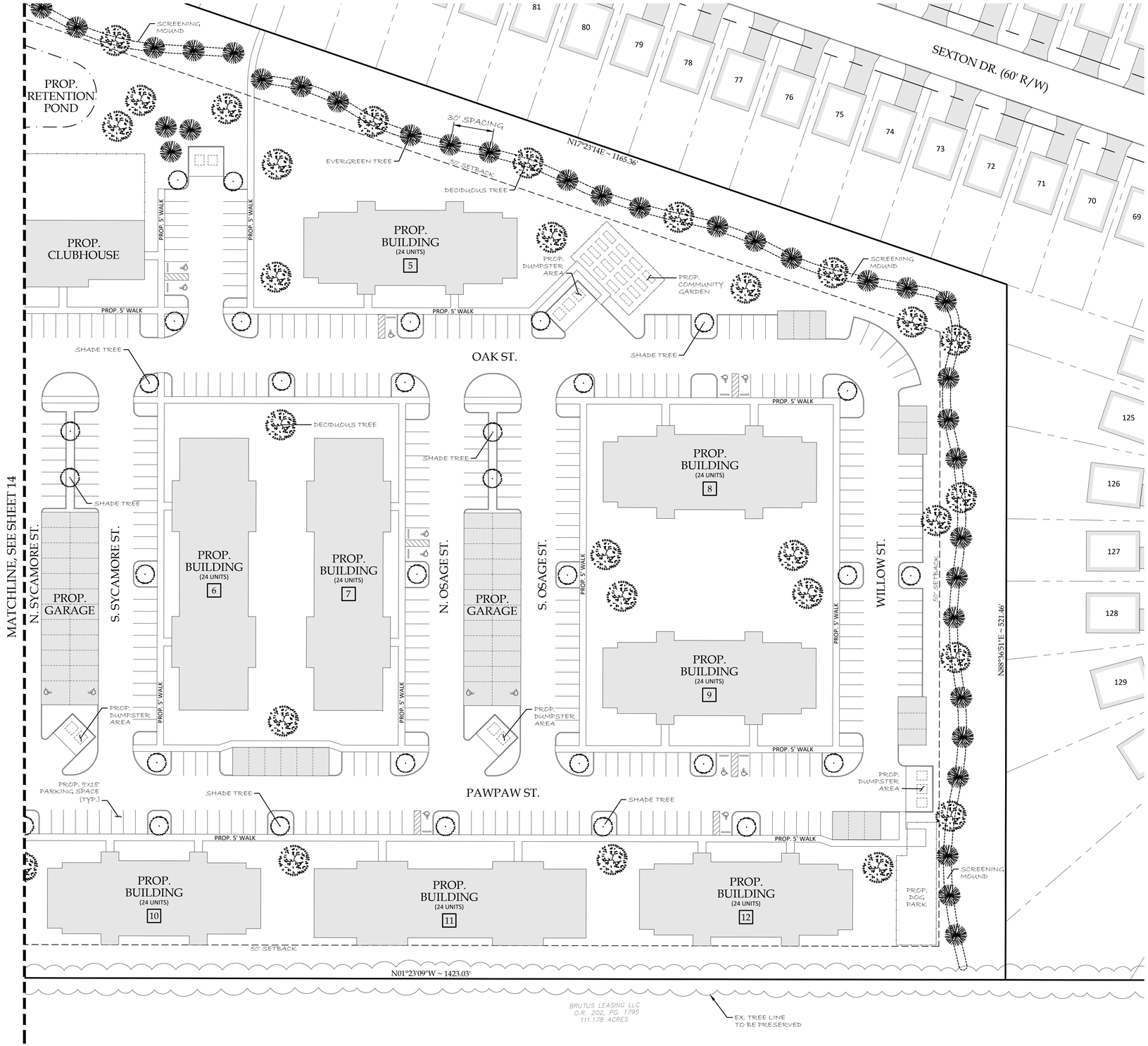
SHEET 14 OF 26



MINIMUM LANDSCAPE STANDARDS

ORDINANCE	REQUIREMENT	PROVIDED
1143.13 STREET TREES	STREET TREES SHALL BE PLANTED WITH EVEN SPACING IN A ROW ADJACENT TO THE PUBLIC RIGHT-OF-WAY. ONE (1) LARGE STREET TREE SHALL BE REQUIRED EVERY FIFTY (50) FEET OF ROAD FRONTAGE.	5 STREET TREES ALONG SEXTON DRIVE, SPACED 50' APART.
1143.14 GENERAL LOT PLANTINGS	FIVE (5) TREES PER ACRE SHALL BE PLANTED. A MINIMUM OF FIFTY PERCENT (50%) OF THE REQUIRED TREES SHALL BE EVERGREEN TREES. 18.43 AC X 5 TREES/AC = 93 TREES FIFTEEN (15) SHRUBS PER ACRE SHALL BE PLANTED. A MINIMUM OF FIFTY PERCENT (50%) OF THE REQUIRED SHRUBS SHALL BE EVERGREEN. 18.43 AC X 15 SHRUBS/AC = 277 SHRUBS	GENERAL LOT TREES PROVIDED = 106 GENERAL LOT SHRUBS PROVIDED = 277* *MORE THAN 277 SHRUBS WILL BE PLANTED WITH THE APARTMENT BUILDING AND CLUBHOUSE FOUNDATION PLANTINGS
1143.15 LANDSCAPING OF INTERIOR OFF-STREET PARKING AREAS	INTERIOR LANDSCAPING: AN AREA EQUAL TO FIVE PERCENT (5%) OF THE PAVED PARKING AND VEHICULAR CIRCULATION AREA SHALL BE LANDSCAPED WITH TREES OR SHRUBS. THIS SHALL INCLUDE ONE (1) LARGE OR MEDIUM SHADE TREE PER TEN (10) PARKING SPACES. TOTAL VEHICULAR AREA = 193,008 SF TOTAL INTERIOR LANDSCAPING REQUIRED = 9,650 SF TOTAL PARKING SPACES = 451 TOTAL SHADE TREES REQUIRED = 46	INTERIOR LANDSCAPING PROVIDED = 17,154 SF TOTAL SHADE TREES PROVIDED = 46
1143.17 LANDSCAPE BUFFER TYPES	TYPE 2 BUFFER: THIRTY-FIVE (35%) MINIMUM AREA OF THE REQUIRED SIDE AND REAR YARD BUILDING SETBACKS, ABUTTING THE PROPERTY LINE, THAT SHALL BE USED SOLELY FOR LANDSCAPE PURPOSES. THE BUFFER MUST CONSIST OF ONE (1) TREE PER FORTY (40) LINEAR FEET OF BOUNDARY PLUS A CONTINUOUS FOUR (4) FOOT HIGH HEDGE, FENCE, OR WALL ALONG THE BOUNDARY OF THE MORE RESTRICTIVE ZONE.	A FOUR (4) FOOT EARTHEN MOUND IS PROPOSED ALONG THE EASTERN AND SOUTHERN PROPERTY OF THE APARTMENT COMPLEX AGAINST THE PROPOSED SINGLE FAMILY SUBDIVISION. A MIX OF EVERGREEN AND DECIDUOUS TREES ARE SPACED EVERY 30' ALONG THE MOUND.

LANDSCAPE NOTES

1. LARGE STREET TREES SHALL BE ONE AND ONE HALF (1 ½) INCHES TO ONE AND THREE-QUARTERS (1 ¾) INCHES MINIMUM CALIPER SIZE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL WHEN PLANTED.
2. ALL TREES TO BE PLANTED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. THE PLANTING OF TREES SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL LANDSCAPING ASSOCIATION.
3. INTERIOR PARKING ISLANDS SHALL CONSIST OF GRASS GROUND COVER.
4. INTERIOR PARKING SHADE TREES SHALL BE DECIDUOUS.

LEGEND

- = SHADE TREE
- = DECIDUOUS TREE
- = EVERGREEN TREE
- = SINGLE FAMILY MONUMENT SIGN*
- = LARGE STREET TREE
- = MULTIFAMILY MONUMENT SIGN*
- = SHRUB

* FINAL SIGN LOCATION AND ORIENTATION TO BE DETERMINED

SCALE: 1" = 40'

40 20 0 40 80

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THE OAKS APARTMENTS
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U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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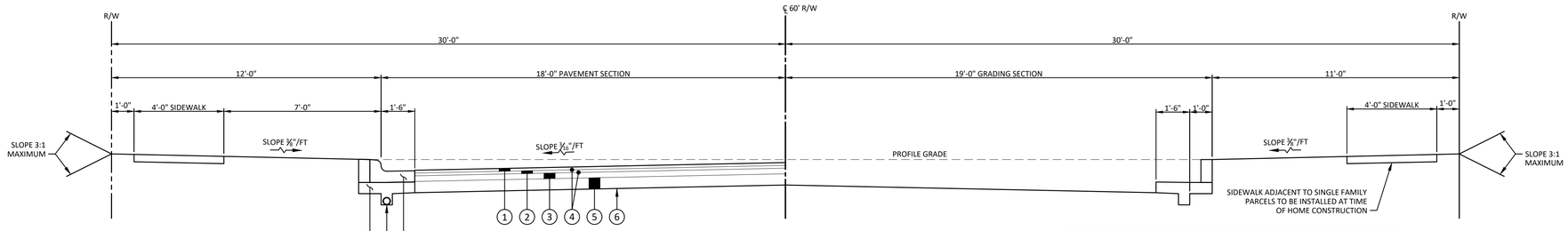
SHEET 15 OF 26



TYPICAL 36' SECTION (SEXTON DRIVE)

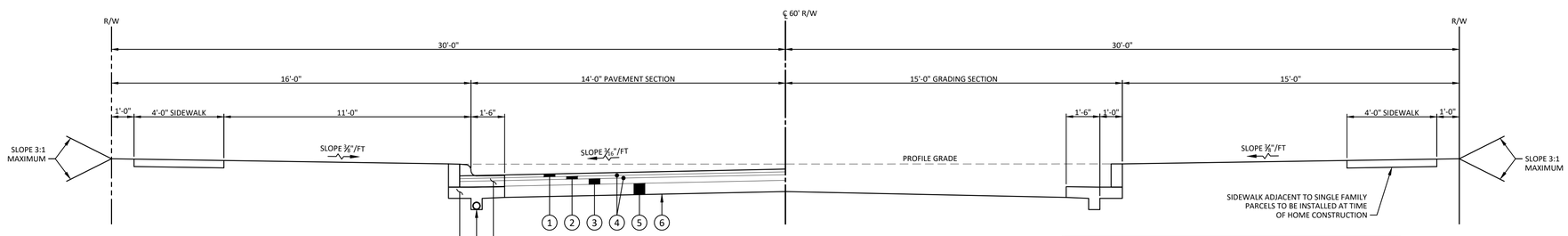
SCALE: 1" = 3'-0"

NOTE: ALL STREETS SHALL HAVE PARKING ON ONE SIDE ONLY.

LEGEND

PAVEMENT SECTION PER CITY OF COLUMBUS RESIDENTIAL STREET PAVEMENT DESIGN POLICY

1. ITEM 448 - 1.25" ASPHALT CONCRETE SURFACE COURSE (MEDIUM TRAFFIC) PG64-22
2. ITEM 448 - 1.50" ASPHALT CONCRETE INTERMEDIATE COURSE (MEDIUM TRAFFIC) PG64-22
3. ITEM 301 - 5.25" ASPHALT CONCRETE BASE
4. ITEM 407 - TACK COAT, (0.05 GALLONS/SQUARE YARD)
5. ITEM 304 - 6" AGGREGATE BASE
6. SUBGRADE COMPACTION, ITEM 204



TYPICAL 28' SECTION (JONES LOOP, PARKDALE ROAD, MARY WAY)

SCALE: 1" = 3'-0"

NOTE: ALL STREETS SHALL HAVE PARKING ON ONE SIDE ONLY.

LEGEND

PAVEMENT SECTION PER CITY OF COLUMBUS RESIDENTIAL STREET PAVEMENT DESIGN POLICY

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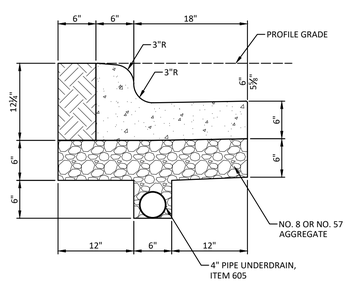
2. ITEM 448 - 1.50" ASPHALT CONCRETE INTERMEDIATE COURSE (MEDIUM TRAFFIC) PG64-22
3. ITEM 301 - 3.25" ASPHALT CONCRETE BASE
4. ITEM 407 - TACK COAT, (0.05 GALLONS/SQUARE YARD)
5. ITEM 304 - 6" AGGREGATE BASE
6. SUBGRADE COMPACTION, ITEM 204



CURB & GUTTER DETAIL

- NOT TO SCALE -

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SINGLE-FAMILY ~ TYPICAL SECTIONS AND DETAILS

WEST JEFFERSON MEADOWS SUBDIVISION
PRELIMINARY DEVELOPMENT PLAN
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
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DESIGN BY	JSG
CHECKED BY	CMT

SINGLE FAMILY SITE DATA

NUMBER OF LOTS	154
TYPICAL LOT SIZE	40'x120'
MINIMUM LOT SIZE	4,800 SF
RIGHT-OF-WAY WIDTH	60'
BUILDING SETBACK	20'
SIDEYARD SETBACK	5'
REARYARD SETBACK	25'

PARCEL DATA

LOT #	AREA (SF)	LOT #	AREA (SF)
1	4,800.45	81	4,800.00
2	4,800.00	82	4,800.00
3	4,800.00	83	4,800.00
4	4,800.00	84	4,800.00
5	4,800.00	85	4,800.00
6	4,800.00	86	4,800.00
7	4,800.00	87	4,800.00
8	4,800.00	88	4,800.00
9	4,800.00	89	4,800.00
10	4,800.00	90	4,800.00
11	4,800.00	91	4,800.00
12	4,800.00	92	4,800.00
13	4,800.00	93	4,800.00
14	7,065.87	94	4,800.00
15	7,065.87	95	4,800.00
16	4,800.00	96	4,800.00
17	4,800.00	97	4,800.00
		98	4,800.00
		99	6,391.26

LINE DATA TABLE

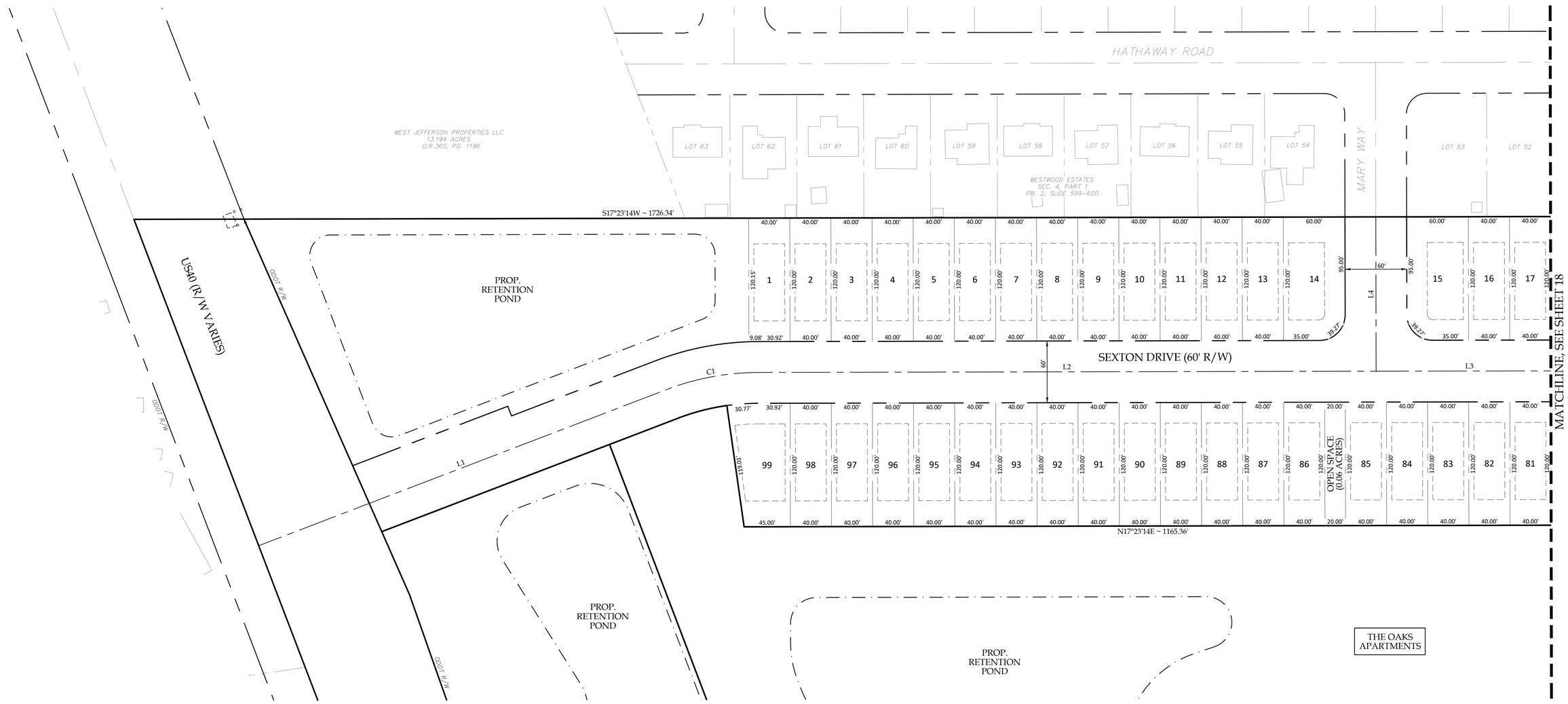
LINE	DISTANCE	BEARING
L1	425.17'	S03°26'04.70"E
L2	600.92'	S17°23'14.02"W
L3	740.00'	S17°23'14.02"W
L4	150.04'	S72°36'45.98"E

CURVE DATA TABLE

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD DIST
C1	20°49'18.72"	250.00'	90.85'	S06°58'34.66"W	90.35'

SCALE: 1" = 50'

50 25 0 50 100



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SINGLE-FAMILY ~ SITE DIMENSION PLAN

WEST JEFFERSON MEADOWS SUBDIVISION
PRELIMINARY DEVELOPMENT PLAN

U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
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PARCEL DATA

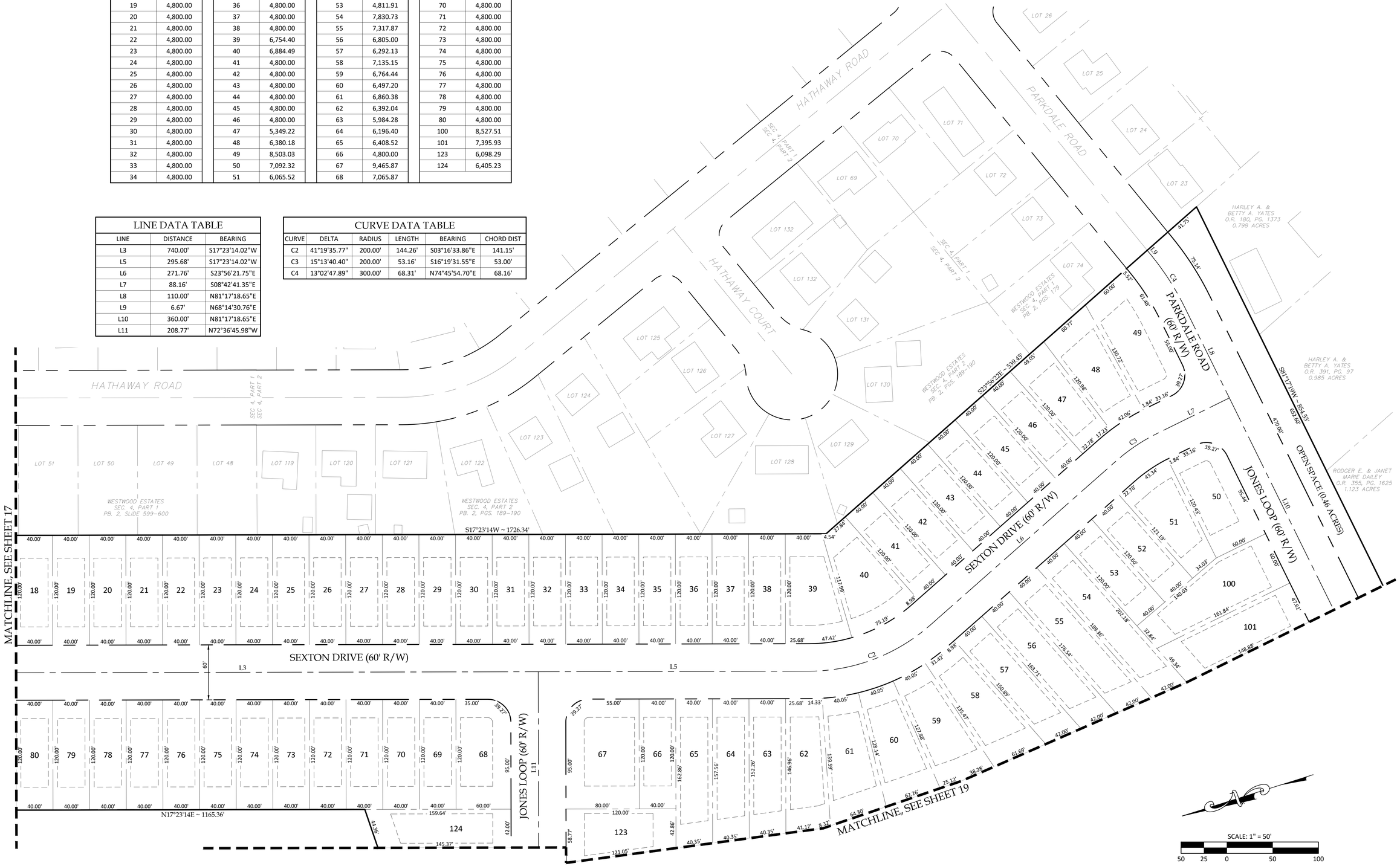
LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)
18	4,800.00	35	4,800.00	52	4,835.72	69	4,800.00
19	4,800.00	36	4,800.00	53	4,811.91	70	4,800.00
20	4,800.00	37	4,800.00	54	7,830.73	71	4,800.00
21	4,800.00	38	4,800.00	55	7,317.87	72	4,800.00
22	4,800.00	39	6,754.40	56	6,805.00	73	4,800.00
23	4,800.00	40	6,884.49	57	6,292.13	74	4,800.00
24	4,800.00	41	4,800.00	58	7,135.15	75	4,800.00
25	4,800.00	42	4,800.00	59	6,764.44	76	4,800.00
26	4,800.00	43	4,800.00	60	6,497.20	77	4,800.00
27	4,800.00	44	4,800.00	61	6,860.38	78	4,800.00
28	4,800.00	45	4,800.00	62	6,392.04	79	4,800.00
29	4,800.00	46	4,800.00	63	5,984.28	80	4,800.00
30	4,800.00	47	5,349.22	64	6,196.40	100	8,527.51
31	4,800.00	48	6,380.18	65	6,408.52	101	7,395.93
32	4,800.00	49	8,503.03	66	4,800.00	123	6,098.29
33	4,800.00	50	7,092.32	67	9,465.87	124	6,405.23
34	4,800.00	51	6,065.52	68	7,065.87		

LINE DATA TABLE

LINE	DISTANCE	BEARING
L3	740.00'	S17°23'14.02"W
L5	295.68'	S17°23'14.02"W
L6	271.76'	S23°56'21.75"E
L7	88.16'	S08°42'41.35"E
L8	110.00'	N81°17'18.65"E
L9	6.67'	N68°14'30.76"E
L10	360.00'	N81°17'18.65"E
L11	208.77'	N72°36'45.98"W

CURVE DATA TABLE

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD DIST
C2	41°19'35.77"	200.00'	144.26'	S03°16'33.86"E	141.15'
C3	15°13'40.40"	200.00'	53.16'	S16°19'31.55"E	53.00'
C4	13°02'47.89"	300.00'	68.31'	N74°45'54.70"E	68.16'



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SINGLE-FAMILY ~ SITE DIMENSION PLAN

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PRELIMINARY DEVELOPMENT PLAN

U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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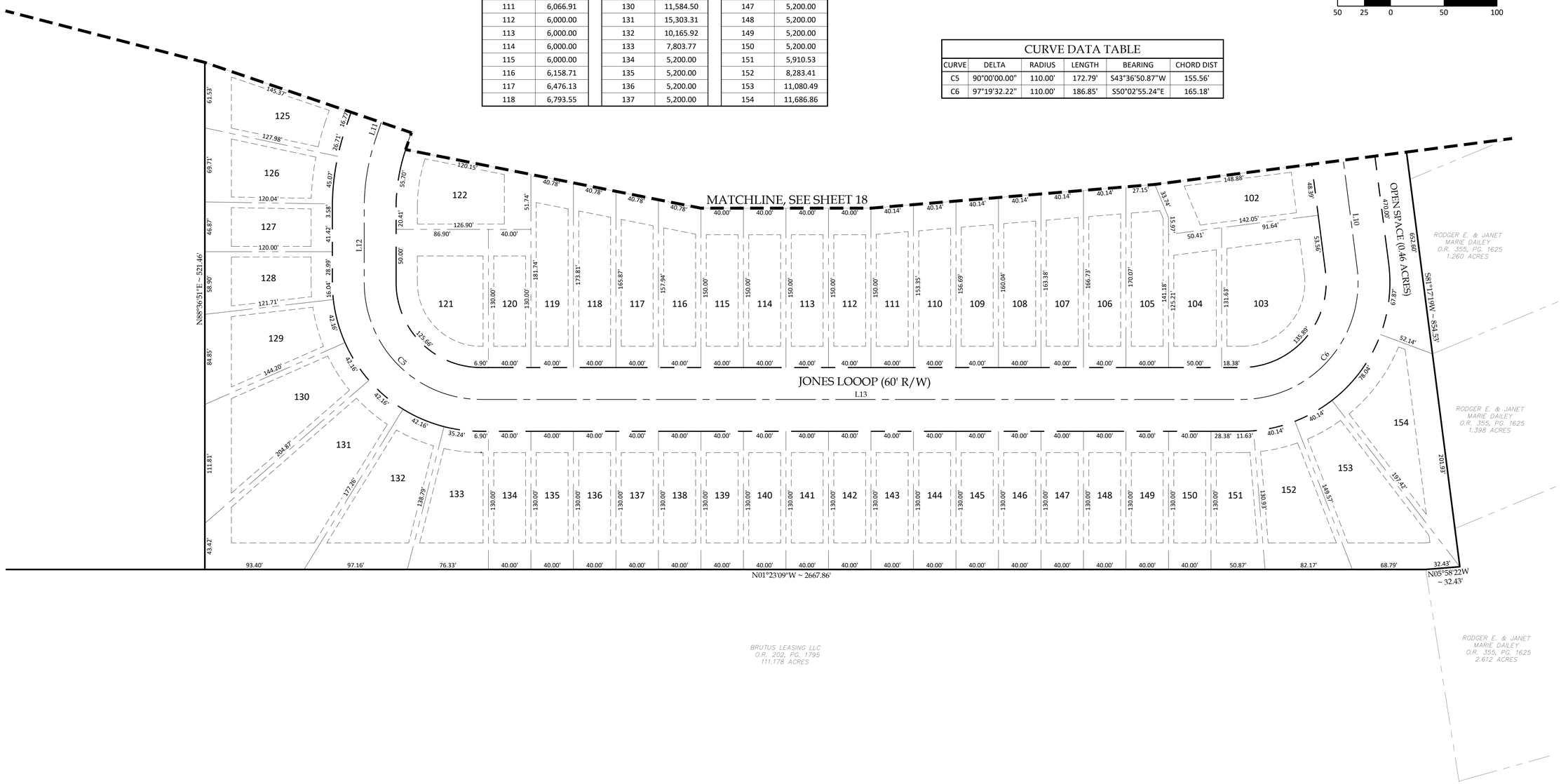
PARCEL DATA					
LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)
102	6,936.50	119	7,110.97	138	5,200.00
103	11,976.43	120	5,200.00	139	5,200.00
104	6,420.96	121	9,923.45	140	5,200.00
105	6,661.17	122	7,992.15	141	5,200.00
106	6,735.96	125	6,985.76	142	5,200.00
107	6,602.15	126	7,016.25	143	5,200.00
108	6,468.34	127	5,512.06	144	5,200.00
109	6,334.53	128	6,244.79	145	5,200.00
110	6,200.72	129	8,079.60	146	5,200.00
111	6,066.91	130	11,584.50	147	5,200.00
112	6,000.00	131	15,303.31	148	5,200.00
113	6,000.00	132	10,165.92	149	5,200.00
114	6,000.00	133	7,803.77	150	5,200.00
115	6,000.00	134	5,200.00	151	5,910.53
116	6,158.71	135	5,200.00	152	8,283.41
117	6,476.13	136	5,200.00	153	11,080.49
118	6,793.55	137	5,200.00	154	11,686.86

LINE DATA TABLE		
LINE	DISTANCE	BEARING
L10	360.00'	N81°17'18.65"E
L11	208.77'	N72°36'45.98"W
L12	70.41'	S88°36'50.87"W
L13	715.28'	S01°23'09.13"E

CURVE DATA TABLE					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD DIST
C5	90°00'00.00"	110.00'	172.79'	S43°36'50.87"W	155.56'
C6	97°19'32.22"	110.00'	186.85'	S50°02'55.24"E	165.18'

SCALE: 1" = 50'

50 25 0 50 100



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SINGLE-FAMILY ~ SITE DIMENSION PLAN

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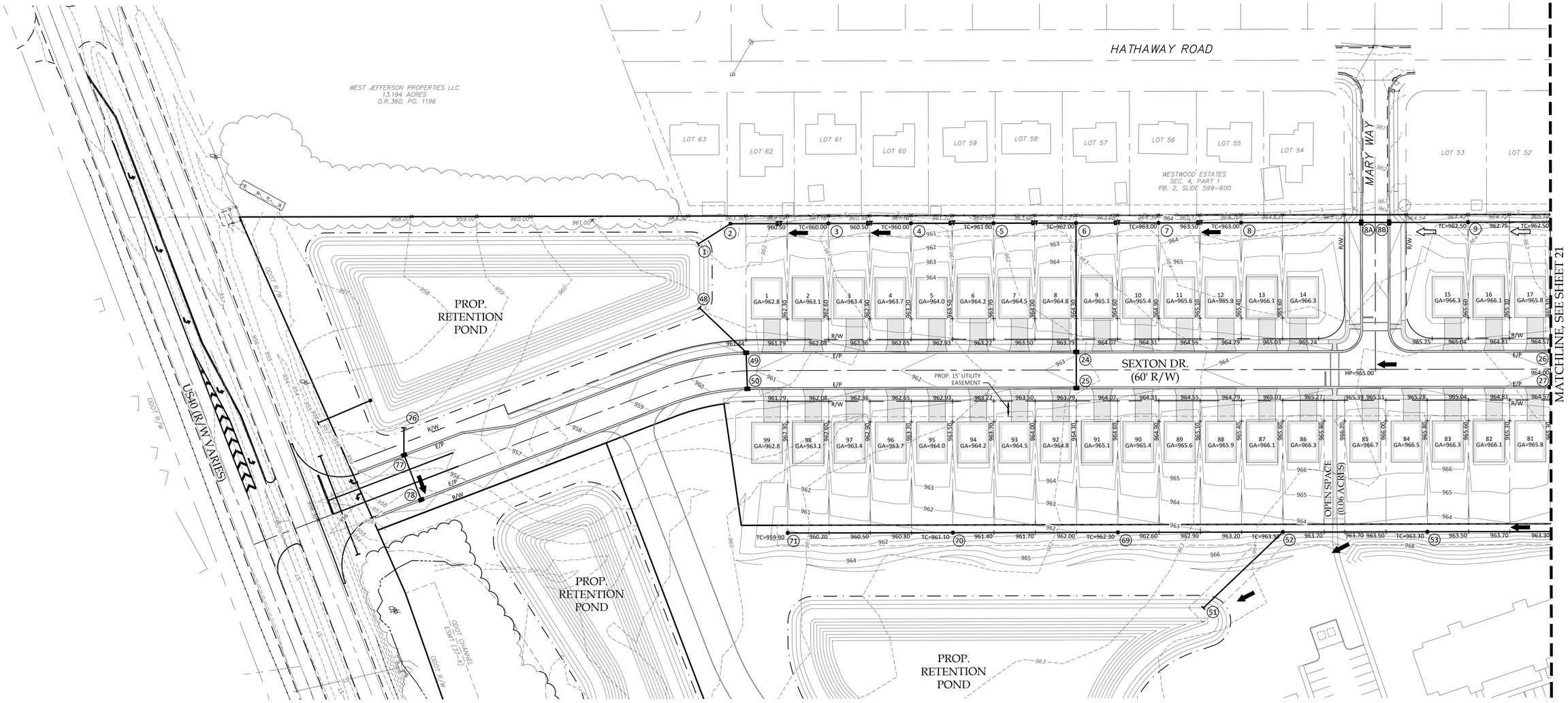

LEGEND

- 100-YR PIPE FLOOD ROUTING
- PROPOSED FLOOD ROUTING
- 960 PROPOSED CONTOUR
- 960 EXISTING CONTOUR

SCALE: 1" = 50'

50 25 0 50 100

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SINGLE-FAMILY GRADING AND DRAINAGE PLAN
WEST JEFFERSON MEADOWS SUBDIVISION
PRELIMINARY DEVELOPMENT PLAN
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

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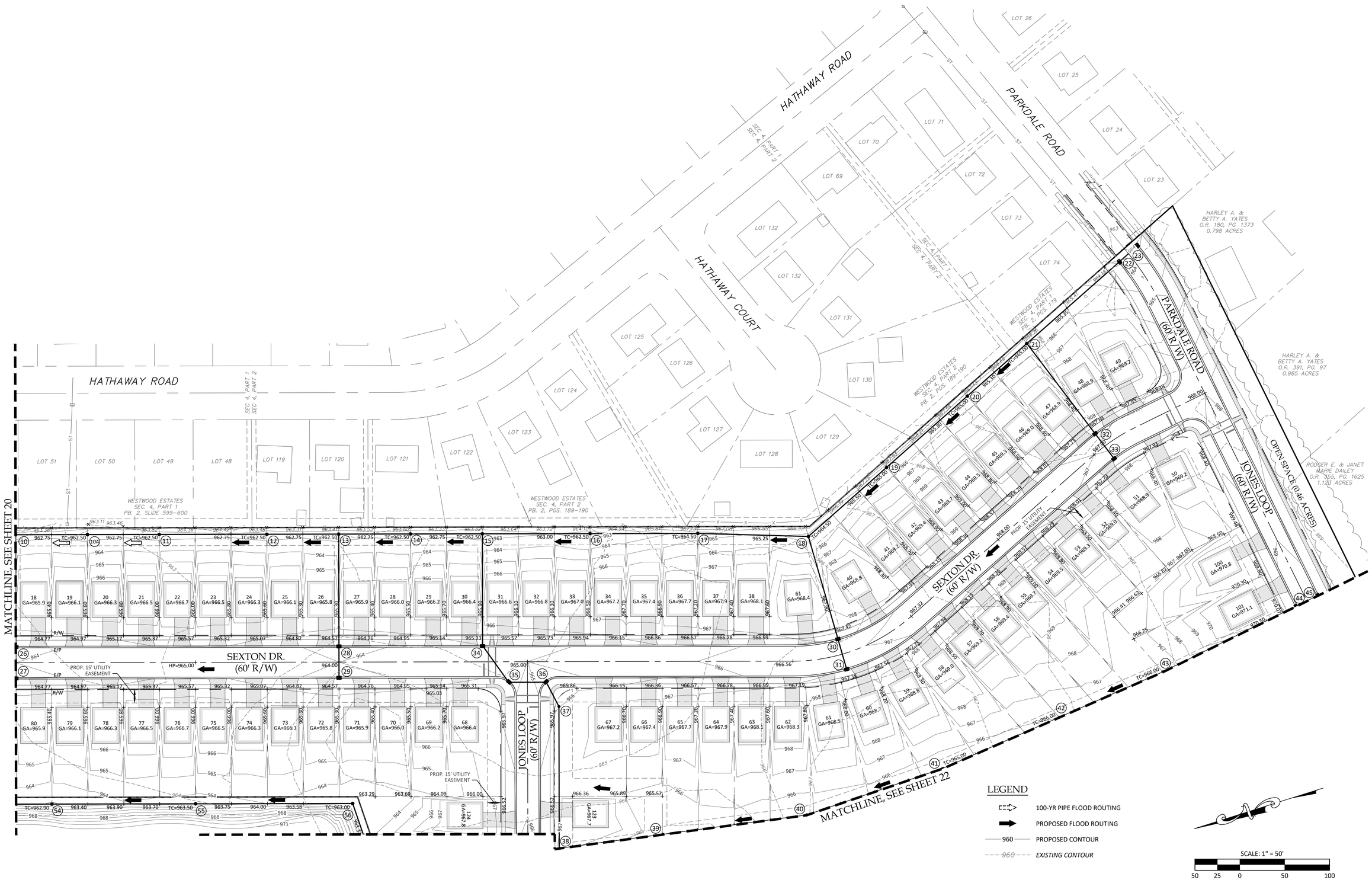

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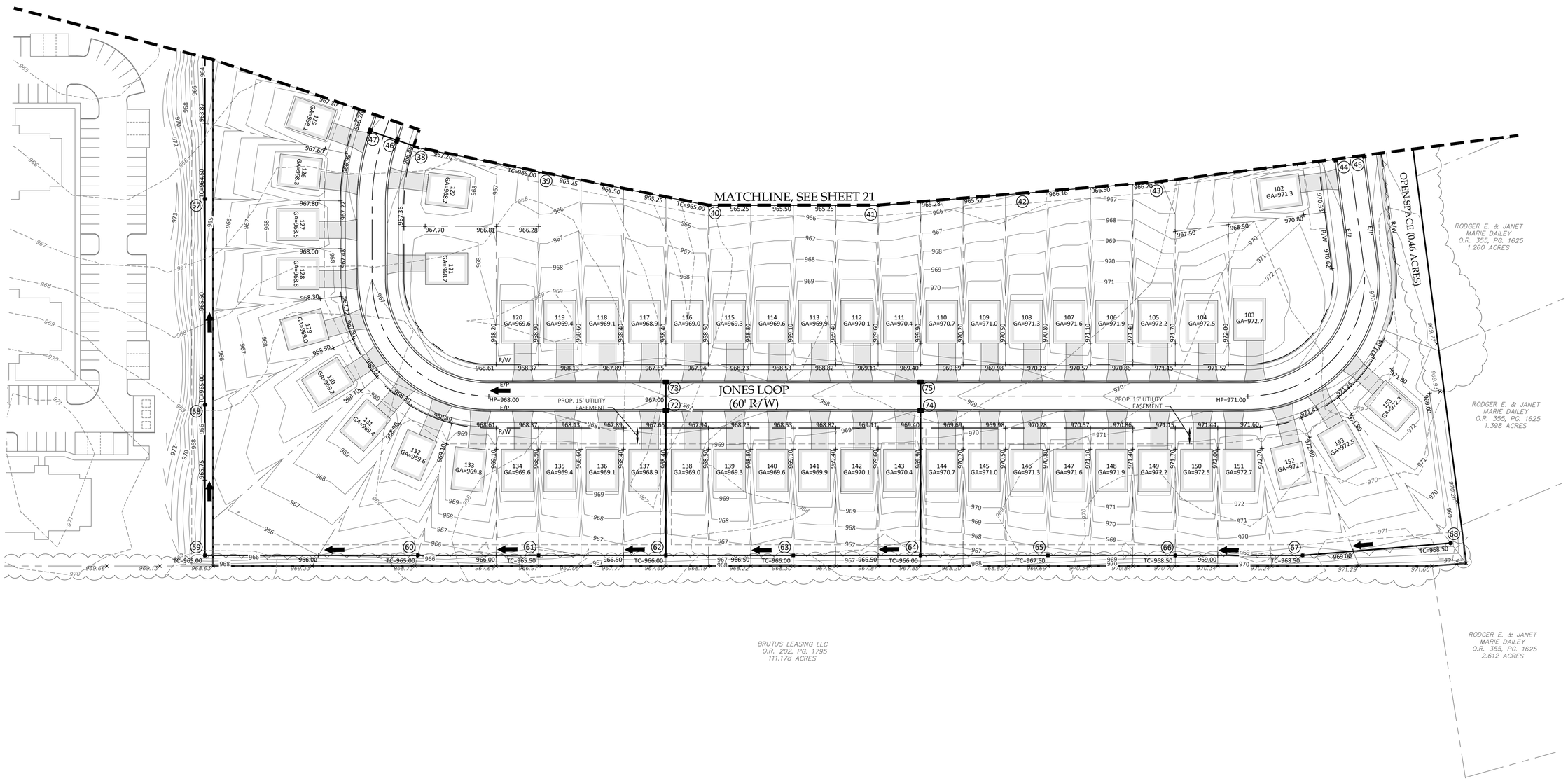

LEGEND

- PROPOSED FLOOD ROUTING
- 960 PROPOSED CONTOUR
- 960 EXISTING CONTOUR

SCALE: 1" = 50'

50 25 0 50 100

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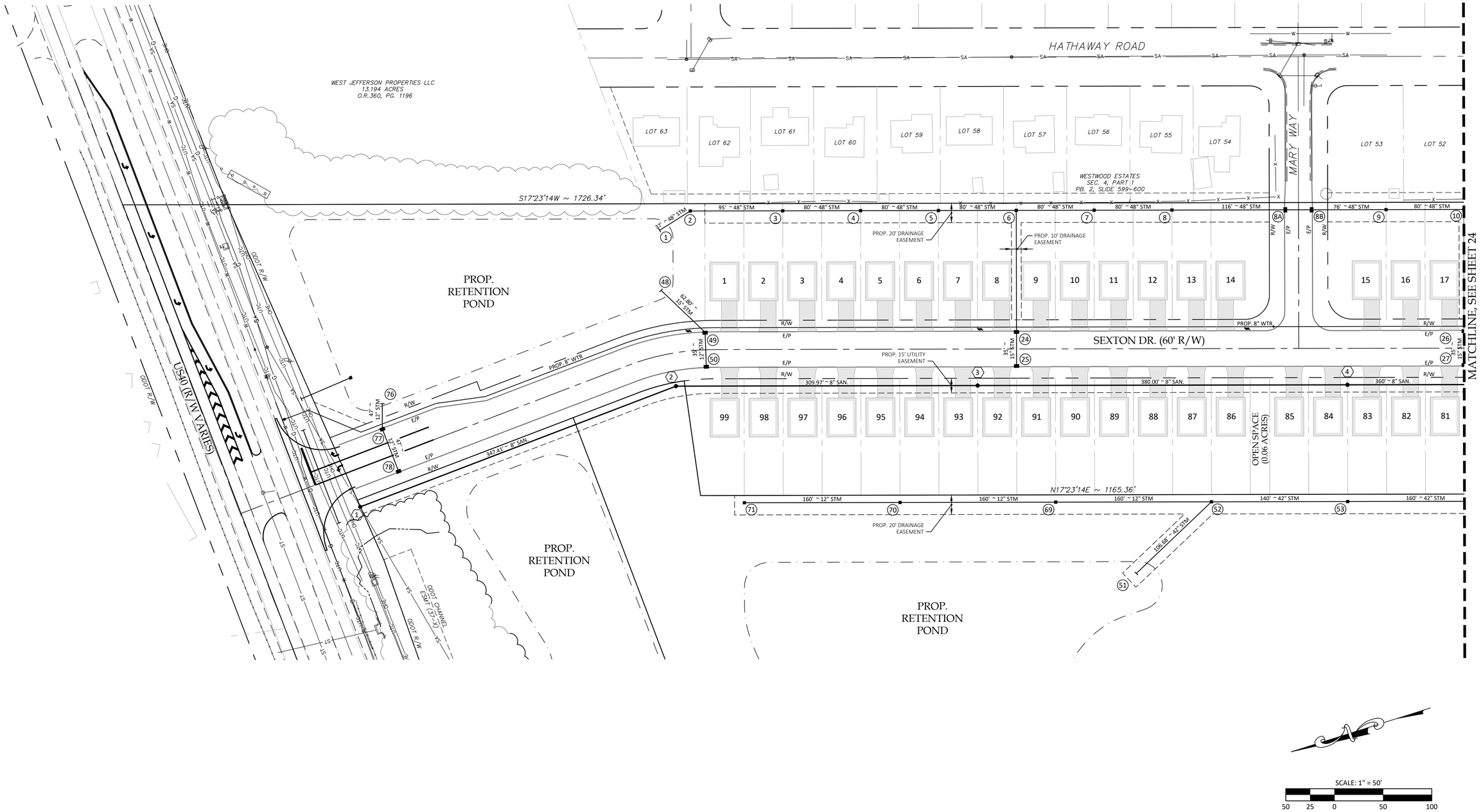
SHEET

22

OF 26



SCALE: 1" = 50'

50 25 0 50 100

REVISION RECORD	
NO.	DATE	REVISION DESCRIPTION

TEBBE CIVIL ENGINEERING, LLC
4700 Lakehurst Court, Suite 135
Dublin, Ohio 43016
Phone (614) 845-5885 ● Chris@TebbeCivil.Com

SINGLE-FAMILY ~ UTILITY PLAN

WEST JEFFERSON MEADOWS SUBDIVISION
PRELIMINARY DEVELOPMENT PLAN

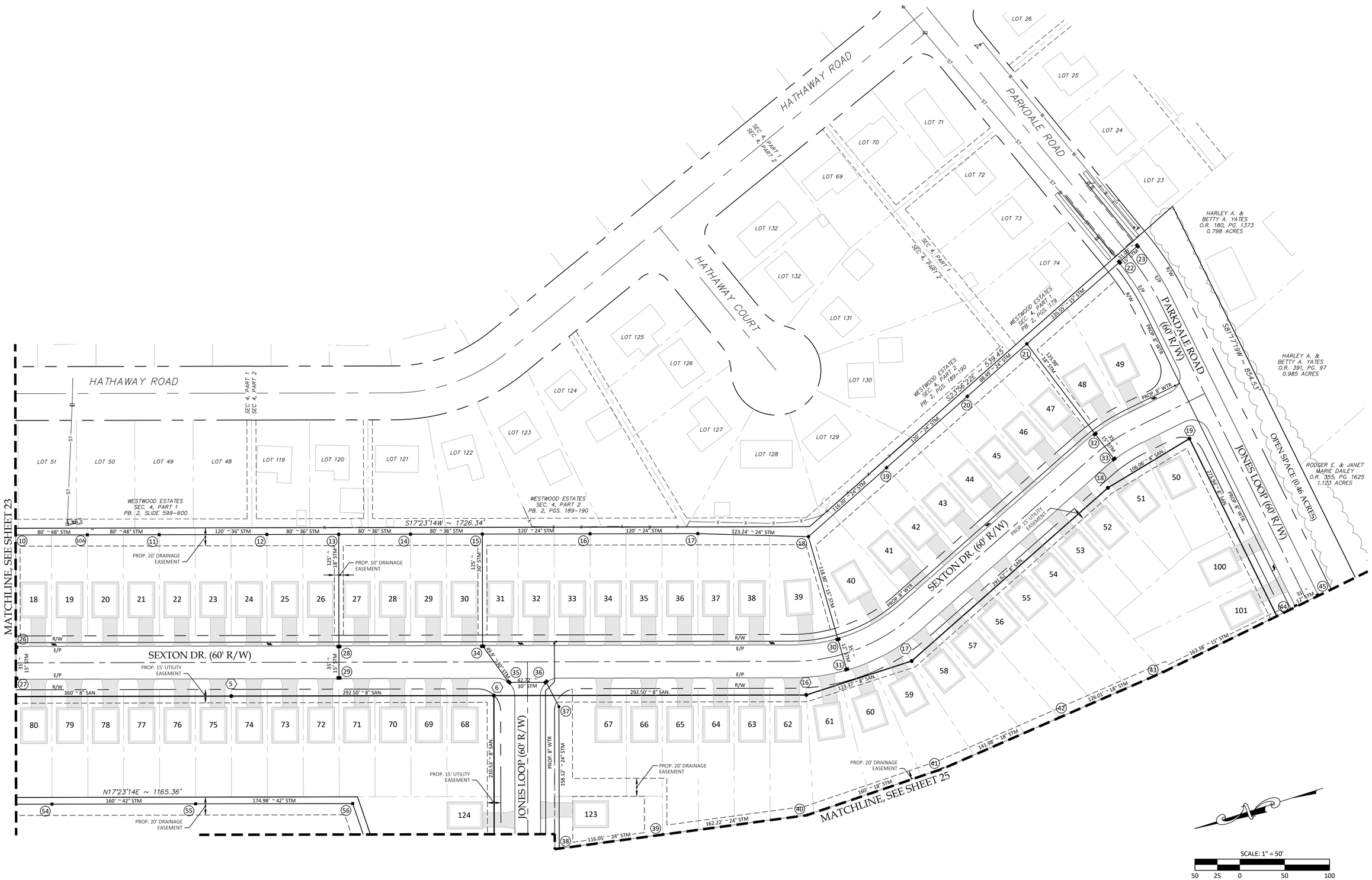
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
DRAWN BY	MJM
DESIGN BY	JSG
CHECKED BY	CMT

SHEET

23

OF 26



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SINGLE-FAMILY ~ UTILITY PLAN

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PRELIMINARY DEVELOPMENT PLAN

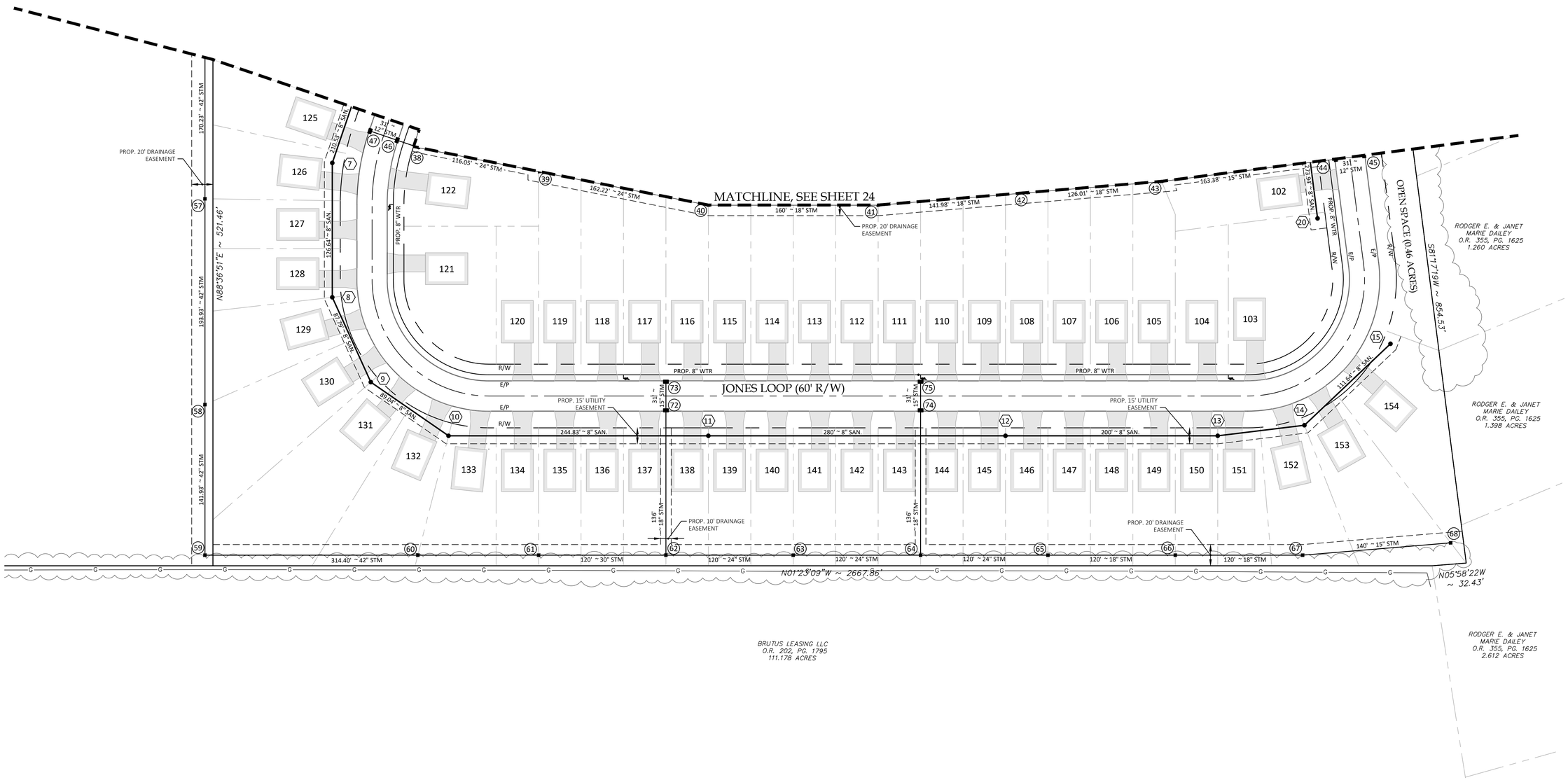
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
DRAWN BY	MJM
DESIGN BY	JSG
CHECKED BY	CMT

SHEET

24

OF 26



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50 25 0 50 100

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Dublin, Ohio 43016
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SINGLE-FAMILY ~ UTILITY PLAN

WEST JEFFERSON MEADOWS SUBDIVISION
PRELIMINARY DEVELOPMENT PLAN

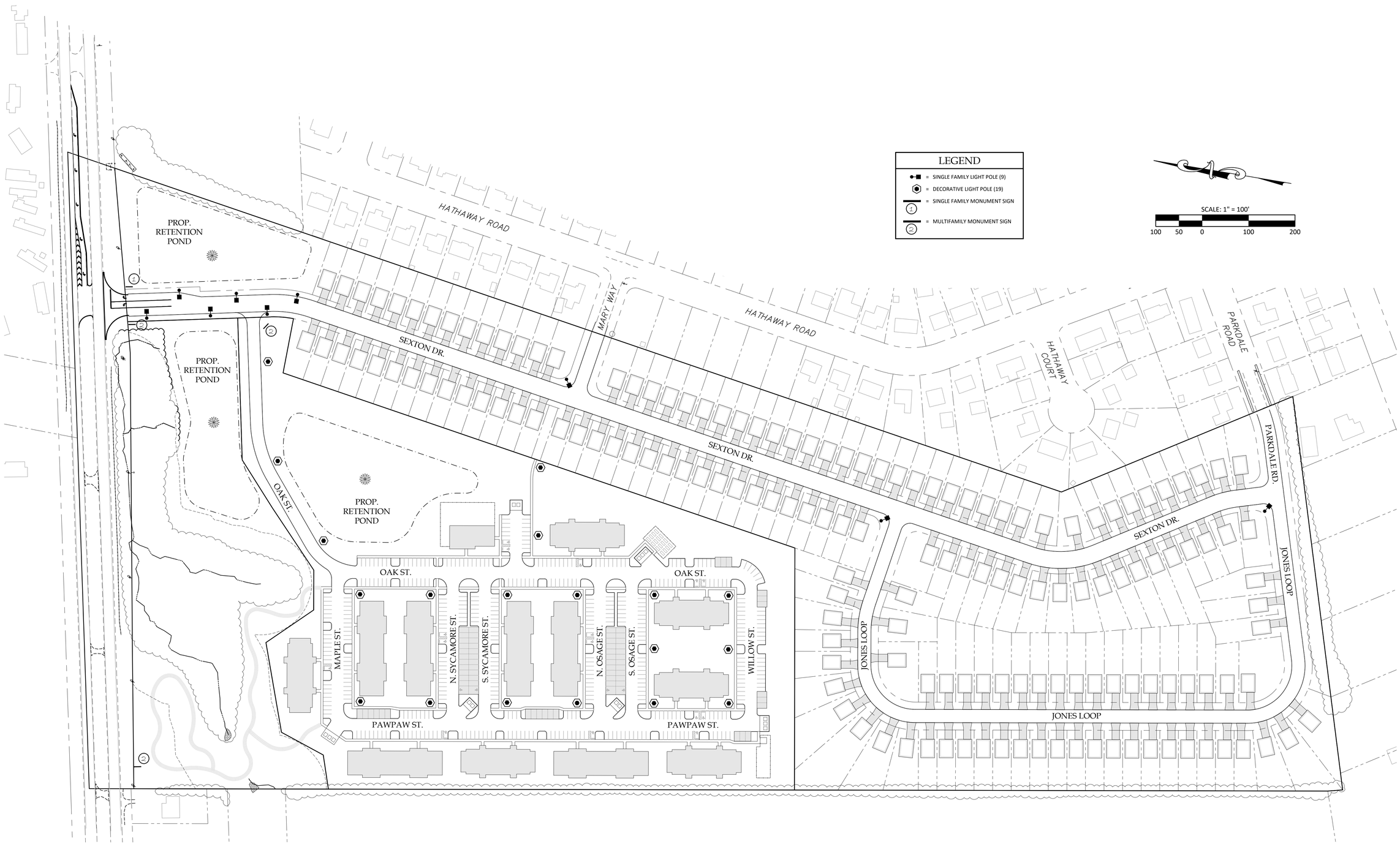
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
DRAWN BY	MJM
DESIGN BY	JSG
CHECKED BY	CMT

SHEET

25

OF 26



REVISION RECORD	
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TEBBE CIVIL ENGINEERING, LLC
4700 Lakehurst Court, Suite 135
Dublin, Ohio 43016
Phone (614) 845-5885 ● Chris@TebbeCivil.Com

SINGLE-FAMILY ~ LIGHTING AND SIGNAGE PLAN

WEST JEFFERSON MEADOWS SUBDIVISION
PRELIMINARY DEVELOPMENT PLAN

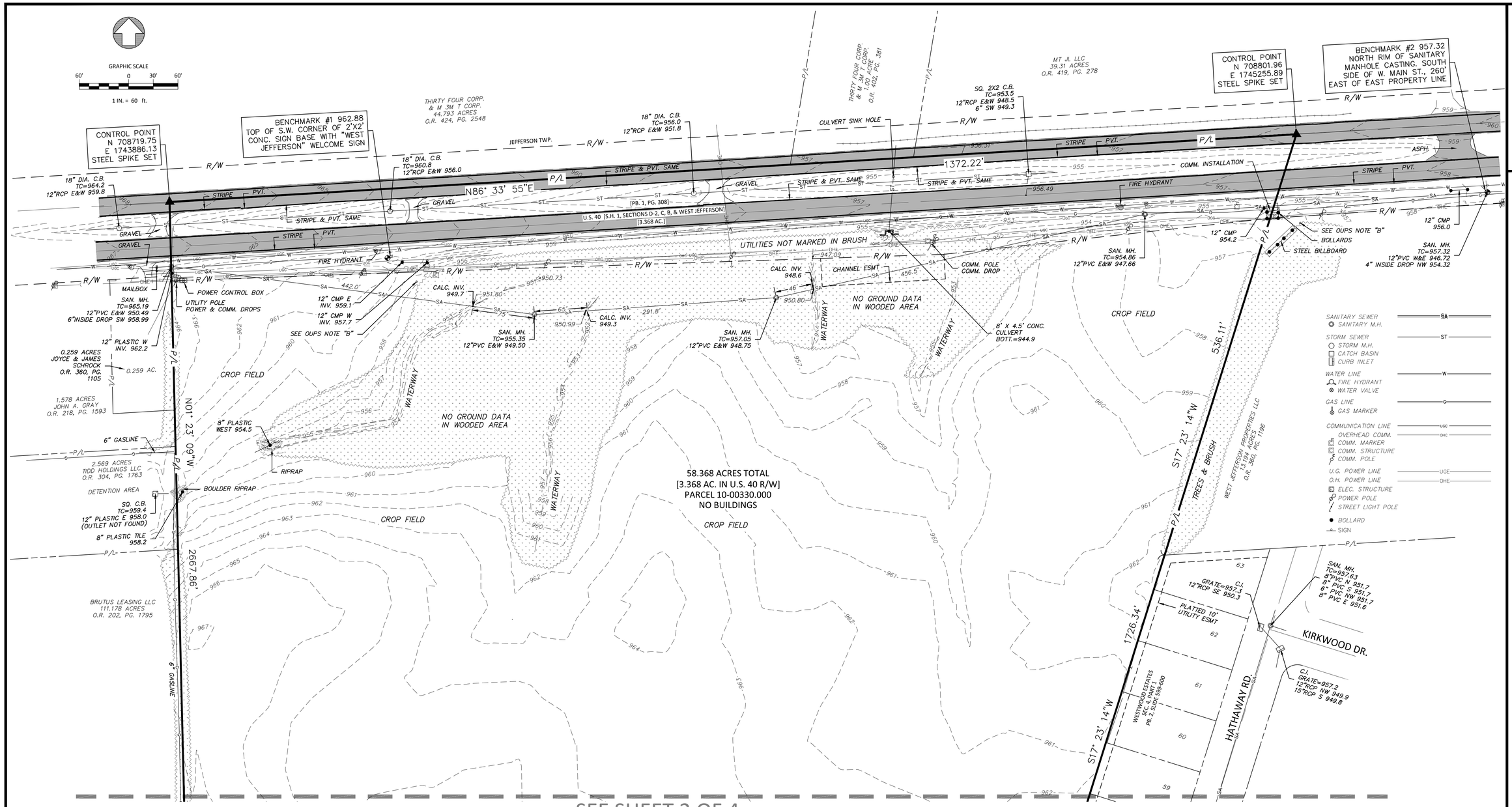
U.S. 40 (NATIONAL ROAD), WEST JEFFERSON, OHIO

JOB NO.	1124
DRAWN BY	MJM
DESIGN BY	JSG
CHECKED BY	CMT

SHEET

26

OF 26



SEE SHEET 2 OF 4

HORIZONTAL DATUM

NAD 83 (2011): OHIO STATE PLANE – SOUTH ZONE
ACCORDING TO THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE GPS SYSTEM (GEOID18) AT PROJECT CONTROL POINT #5000.

BASIS OF BEARINGS:

A BEARING OF SOUTH 17°23'14" WEST WAS MEASURED FOR THE WEST LINE OF WESTWOOD ESTATES, SECTION 4, PART 1 OF RECORD IN P.B. 2, SLIDE 599–600.

VERTICAL DATUM

NAVD 88 ACCORDING TO AVERAGE OBSERVATION OF THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE GPS SYSTEM (GEOID18) AT PROJECT CONTROL POINT #5000. BENCHMARKS SHOWN AND SANITARY MANHOLE TOP OF CASTING ELEVATIONS ARE A RESULT OF LEVELING FROM CONTROL POINT #5000.

FLOOD ZONE:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S "FLOOD INSURANCE RATE MAP", MAP NUMBER 39097 C0158D & 39097 C0175D, DATED 06/18/2010, THE SUBJECT PROPERTY IS LOCATED IN AREA "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROJECT CONTROL POINT:

GROUND COORDINATES WERE DERIVED BY AN AVERAGE OF OBSERVATIONS OVER TIME OF #5000.

C.P. #5000
5/8–INCH REBAR/CAP SET 10 FEET WEST OF THE INTERSECTION OF THE WEST RIGHT OF WAY LINE AND CENTERLINE OF MARY WAY.

N: 707650.50
E: 1744884.83
Z: 964.61

A COMBINED SCALE FACTOR OF 0.99998808 IS APPLIED AT POINT #5000 TO REDUCE GRID TO GROUND.

DISTANCES SHOWN ARE GROUND DISTANCES.

UTILITY STATEMENT:

NO UNDERGROUND UTILITY SURVEY WAS PERFORMED BY THE SURVEYOR. THE VERTICAL COMPONENT OF BURIED UTILITIES WAS NOT SURVEYED. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. UTILITIES MAY EXIST BENEATH THE GROUND THAT ARE NOT SHOWN HEREON.

THE UTILITIES SHOWN ARE BASED ON SURFACE OBSERVATIONS OF MARKINGS BY THE OHIO UTILITIES PROTECTION SERVICE.

HATCHED AREA:

NO UTILITY MARKINGS WERE PERFORMED IN THE HATCHED AREA ALONG THE SOUTH SIDE OF WEST MAIN STREET DUE TO THE DENSITY OF FOLIAGE.

WESTWOOD ESTATES UTILITIES:

UNDERGROUND UTILITIES AND UTILITY BOXES, TRANSFORMERS, ETC. ARE LOCATED ALONG THE EAST SIDE OF THE PROPERTY LINE IN THE PLATTED EASEMENTS SHOWN FOR WESTWOOD ESTATES.

OUPS UTILITY NOTE "B" – WATERLINE MARKING

A SPOT OF BLUE WATERMAIN PAINT WAS SPRAYED ON THE VEGETATION AT TWO LOCATIONS. THE LOCATIONS ARE SHOWN. IT IS NOT EVIDENT AS TO WHAT THE MARKINGS REPRESENT, IF ANYTHING.

U.S. 40 RIGHT OF WAY:

THE CENTERLINE [S.H. 1, SECTIONS D–2, C, B, & WEST JEFFERSON] IS RECORDED IN PB. 1, PG. 308 AND THE RIGHT OF WAY PLAN IS ON FILE IN ODOT DISTRICT 6. THE RIGHT OF WAY WIDTH OF U.S. 40 VARIES AS SHOWN ON SAID PLAN.

TREE & VEGETATION NOTE:

INDIVIDUAL TREES WERE NOT SURVEYED. THE GENERAL EDGE OF TREES AND BRUSH IS DEPICTED AS HATCHED.

WATERWAYS:
THE WATERWAYS IN THE HATCHED AREA WERE SURVEYED FOR EXTENT AND GRADE. THE WEST MAIN STREET EMBANKMENT AND DITCH IN THE HATCHED AREA WERE NOT SURVEYED.

THIS SURVEY WAS PREPARED FROM A FIELD SURVEY OF THE PROPERTY FROM APRIL–AUGUST, 2024. THIS SURVEY IS NOT A BOUNDARY SURVEY PREPARED ACCORDING TO OHIO ADMINISTRATIVE CODE CHAPTER 4733. BEARINGS AND DISTANCES ARE AS MEASURED IN THE FIELD. UNITS ARE IN SURVEY FEET AND DECIMAL PARTS THEREOF.

09/10/2024

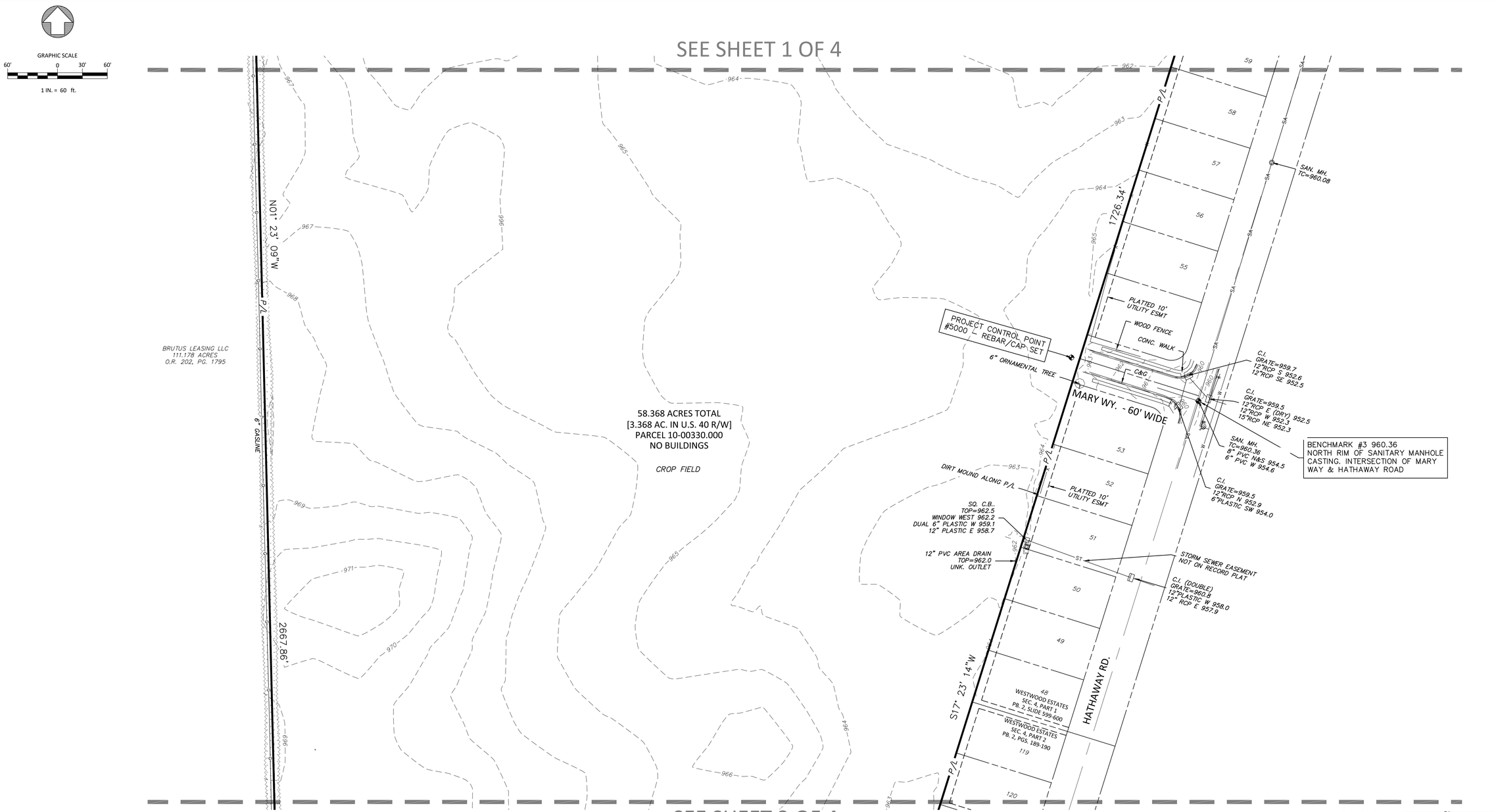
MARK D. POWER
PROFESSIONAL SURVEYOR S–7935

PREPARED BY:
POWER GEOSPATIAL, LTD.
P.O. BOX 581
LONDON, OHIO 43140
614-546-8337

TOPOGRAPHIC SURVEY

WEST MAIN STREET
WEST JEFFERSON, OHIO
TONTI ORGANIZATION
TAX PARCEL 10-00330.000

09/10/2024



HORIZONTAL DATUM

NAD 83 (2011): OHIO STATE PLANE – SOUTH ZONE
ACCORDING TO THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE GPS SYSTEM (GEOID18) AT PROJECT CONTROL POINT #5000.

BASIS OF BEARINGS:

A BEARING OF SOUTH 17°23'14" WEST WAS MEASURED FOR THE WEST LINE OF WESTWOOD ESTATES, SECTION 4, PART 1 OF RECORD IN P.B. 2, SLIDE 599–600.

VERTICAL DATUM

NAVD 88 ACCORDING TO AVERAGE OBSERVATION OF THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE GPS SYSTEM (GEOID18) AT PROJECT CONTROL POINT #5000. BENCHMARKS SHOWN AND SANITARY MANHOLE TOP OF CASTING ELEVATIONS ARE A RESULT OF LEVELING FROM CONTROL POINT #5000.

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C.P. #5000
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Z: 964.61

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DISTANCES SHOWN ARE GROUND DISTANCES.

UTILITY STATEMENT:

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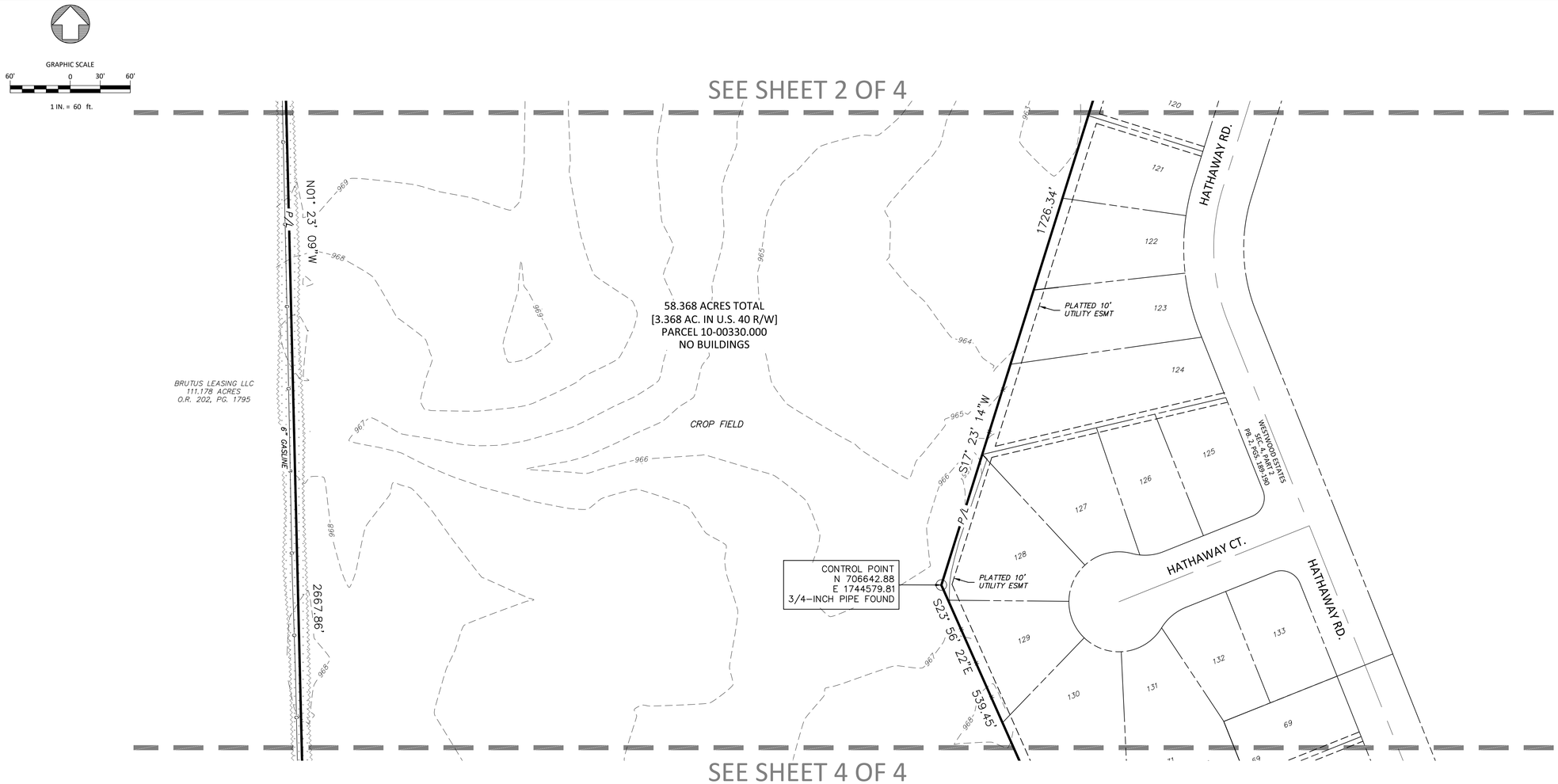
SANITARY SEWER — SA
SANITARY M.H.
STORM SEWER — ST
STORM M.H.
CATCH BASIN
CURB INLET
WATER LINE — W
FIRE HYDRANT
WATER VALVE
GAS LINE — G
GAS MARKER
COMMUNICATION LINE — UGC
OVERHEAD COMM. — OHC
COMM. MARKER
COMM. STRUCTURE
COMM. POLE
U.G. POWER LINE — UGE
O.H. POWER LINE — OHE
ELEC. STRUCTURE
POWER POLE
STREET LIGHT POLE
BOLLARD
SIGN

PREPARED BY:
POWER GEOSPATIAL, LTD.
P.O. BOX 581
LONDON, OHIO 43140
614-546-8337

TOPOGRAPHIC SURVEY

WEST MAIN STREET
WEST JEFFERSON, OHIO
TONTI ORGANIZATION
TAX PARCEL 10-00330.000

09/10/2024



HORIZONTAL DATUM

NAD 83 (2011): OHIO STATE PLANE – SOUTH ZONE
ACCORDING TO THE OHIO DEPARTMENT OF TRANSPORTATION'S VIRTUAL REFERENCE GPS SYSTEM (GEOID18) AT PROJECT CONTROL POINT #5000.

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SANITARY M.H.
STORM SEWER — ST
STORM M.H.
CATCH BASIN
CURB INLET
WATER LINE — W
FIRE HYDRANT
WATER VALVE
GAS LINE — G
GAS MARKER
COMMUNICATION LINE — UCC
OVERHEAD COMM. — OHC
COMM. MARKER
COMM. STRUCTURE
COMM. POLE
U.G. POWER LINE — UGE
O.H. POWER LINE — OHE
ELEC. STRUCTURE
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STREET LIGHT POLE
BOLLARD
SIGN

PREPARED BY:
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P.O. BOX 581
LONDON, OHIO 43140
614-546-8337

TOPOGRAPHIC SURVEY

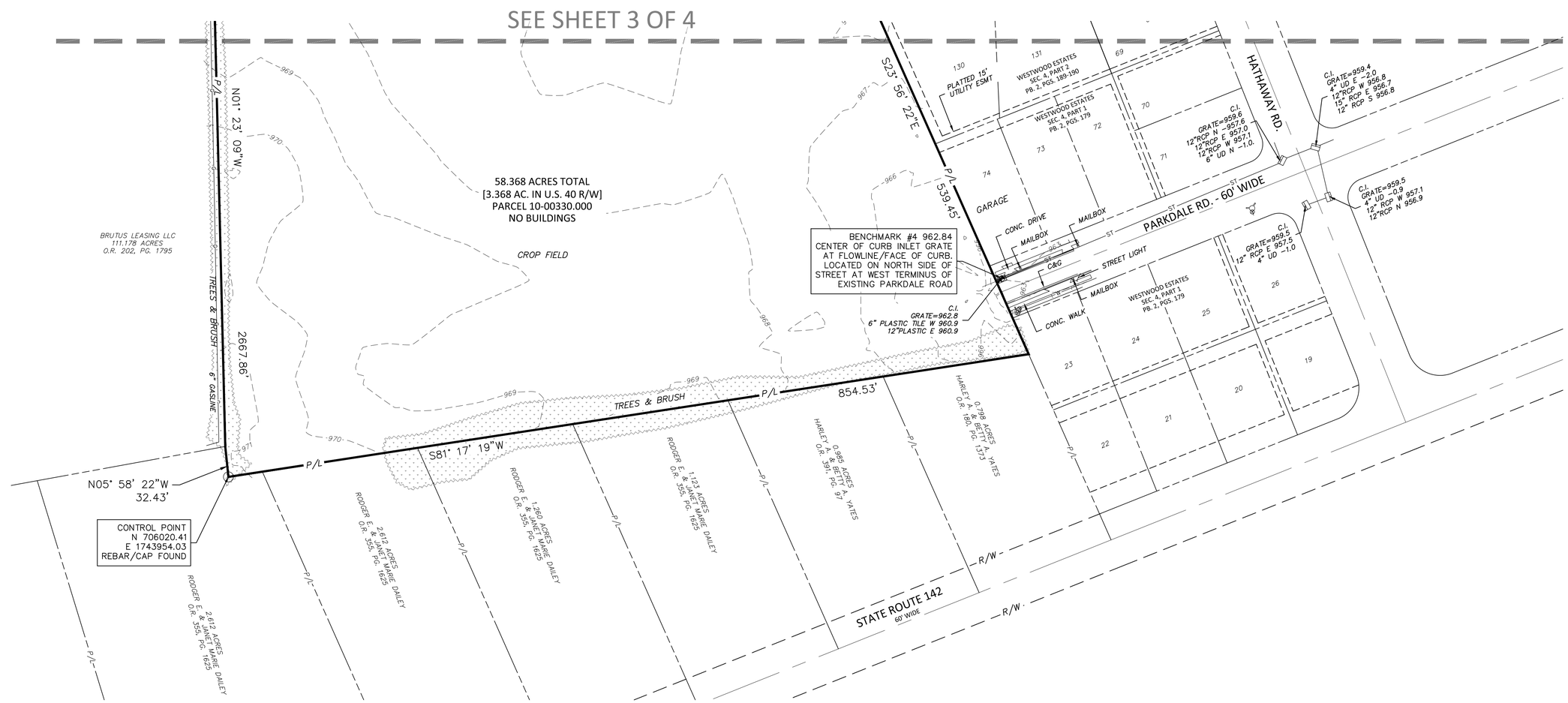
WEST MAIN STREET
WEST JEFFERSON, OHIO
TONTI ORGANIZATION
TAX PARCEL 10-00330.000

09/10/2024

GRAPHIC SCALE

60' 0 30' 60'

1 IN. = 60 ft.



HORIZONTAL DATUM

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